



Inter Office Memo

ATTENTION: FOR FINAL ACTION OR MODIFICATION TO OR ADDITION OF CONDITIONS, SEE FINAL BOARD OF SUPERVISORS' ACTION SUMMARY MINUTES.

DATE: October 10, 2019

TO: Board of Supervisors

FROM: Planning Commission

SUBJECT: RESOLUTION NO. 12800 - INITIAL STUDY APPLICATION NO. 7611 and UNCLASSIFIED CONDITIONAL USE PERMIT APPLICATION NO. 3648

APPLICANT: Jason Osborne

OWNER: Iva M. Arthur, Trustee

REQUEST: Allow construction of a new unmanned wireless telecommunications facility consisting of a 150-foot lattice tower with associated antennas and equipment on a 40-foot by 50-foot fenced area on a 1.45-acre parcel in the AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District.

LOCATION: The project site is located on the west side of South Elm Avenue approximately 1,764 feet north of its nearest intersection with East Elkhorn Avenue, approximately 3.36 miles southeast of the unincorporated community of Caruthers (16629 S. Elm Avenue, Caruthers, CA) (SUP. DIST. 4) (APN 042-200-06S).

PLANNING COMMISSION ACTION:

At its hearing of October 10, 2019, the Commission considered the Staff Report and testimony (summarized in Exhibit A).

A motion was made by Chairman Abrahamian and seconded by Commissioner Vallis to determine the required Findings could not be made, stating Finding 3 could not be made because of the impact on the neighborhood and Finding 4 could not be made because of the necessity to remove the existing tower and the proposal was not compatible with the Wireless Guidelines; and deny Unclassified Conditional Use Permit No. 3648.

EXHIBIT A

Initial Study Application No. 7611
Unclassified Conditional Use Permit Application No. 3648

- Staff: The Fresno County Planning Commission considered the Staff Report dated October 10, 2019, and heard a summary presentation by staff.
- Applicant: The Applicant concurred with the Staff Report and the recommended Conditions. He described the project and offered the following information to clarify the intended use:
- We will be relocating and decommissioning the existing tower; we are unable to renegotiate the land lease of the existing site.
 - The existing tower has been at this location for 25 years; if the application is denied, we will lose coverage in the area.
 - The proposed site is the only one in the vicinity that we were able to secure; other sites will not provide the existing coverage; we will construct the proposed tower prior removing the existing tower.
 - Crown Castle is in the business of owning towers and providing those towers for cell carriers that would like to provide coverage for the area.
- Others: A representative of the Applicant spoke in support of the application and provided additional information regarding the proposal.
- If the permit is approved, the current carrier service will be transferred to the proposed tower and the existing tower; Verizon is aware of the proposed new site and agrees with the location change.
 - The lease and agreement conflict are a private matter between the company and the property owner.
- One person presented a letter of opposition and provided testimony about the existing tower and the expired lease agreement with Crown Castle.
- I am concerned that this application is only a negotiation tactic to drive down the lease rates on the existing tower at the expense of the property owner.
 - I believe Crown Castle has used this approach with other lease agreements.
- Correspondence: One letter was presented to the Planning Commission in opposition to the application.

EXHIBIT "B"

ATTACHMENT
TO
AGENDA ITEM

FISCAL IMPACT STATEMENT

Initial Study Application No. 7611
(State Clearinghouse #2019099025)
Unclassified Conditional Use Permit Application No. 3648

Listed below are the fees collected for the land use applications involved in this Agenda Item:

Conditional Use Permit Application	\$ 9,123.00 ¹
Environmental Assessment	\$ 5,151.00 ²
Public Health Department Review	\$ 992.00 ³
Agricultural Commissioner Fee	\$ 93.00 ⁴
Land Use Appeal Fee	<u>\$ 508.00</u>
Total Fees Collected	\$ <u>15,620.00</u>

1 Includes project routing, coordination with reviewing agencies, preparation and incorporation of analysis into Staff Report.
2 Review proposal to provide appropriate California Environmental Quality Act (CEQA) Analysis and include documentation to prepare a Mitigated Negative Declaration.
3 Review of proposal and associated environmental documents by the Department of Public Health, Environmental Health Division; comments.
4 Review of proposal and associated environmental documents by the Department Agriculture; comments.



County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

Planning Commission Staff Report Agenda Item No. 3 October 10, 2019

SUBJECT: Initial Study Application No. 7611 and Unclassified Conditional Use Permit Application No. 3648

Allow construction of a new unmanned wireless telecommunications facility consisting of a 150-foot lattice tower with associated antennas and equipment on a 40-foot by 50-foot fenced area on a 1.45-acre parcel in the AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District.

LOCATION: The project site is located on the west side of South Elm Avenue approximately 1,764 feet north of its nearest intersection with East Elkhorn Avenue and is located approximately 3.36 miles southeast of the unincorporated community of Caruthers (16629 S. Elm Avenue, Caruthers, CA) (SUP. DIST. 4) (APN 042-200-06S).

OWNER: Iva M. Arthur, Trustee
APPLICANT: Jason Osborne on behalf of Crown Castle

STAFF CONTACT: Thomas Kobayashi, Planner
(559) 600-4224

Marianne Mollring, Senior Planner
(559) 600-4569

RECOMMENDATION:

- Adopt the Mitigated Negative Declaration prepared for Initial Study (IS) Application No. 7611; and
- Approve Unclassified Conditional Use Permit No. 3648 with recommended Findings and Conditions; and
- Direct the Secretary to prepare a Resolution documenting the Commission's action.

EXHIBITS:

1. Mitigation Monitoring, Conditions of Approval and Project Notes
2. Location Map
3. Existing Zoning Map
4. Existing Land Use Map
5. Cell Tower Vicinity Map
6. Site Plans, Elevations, and Detail Drawings
7. Service Coverage Maps (with and without project)
8. Project Description, Operational Statement, and Response to Fresno County Wireless Communication Guidelines
9. Summary of Initial Study Application No. 7611
10. Draft Mitigated Negative Declaration

SITE DEVELOPMENT AND OPERATIONAL INFORMATION:

Criteria	Existing	Proposed
General Plan Designation	Agricultural	No change
Zoning	AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District	No change
Parcel Size	1.45 acres	No change
Project Site	N/A	40-foot by 50-foot fenced area
Structural Improvements	Single-Family Residences, Accessory Building, Domestic Well	150-foot lattice tower and associated wireless telecommunications equipment
Nearest Residence	Approximately 49 feet north	No change
Surrounding Development	Residential, Agricultural, and Southwest Transportation Agency	No change
Operational Features	N/A	Operates 24 hours per day, 7 days per week, 52 weeks per year

Criteria	Existing	Proposed
Employees	N/A	One off-site service employee
Customers	N/A	None
Traffic Trips	Residential	Up to two round trips/four total trips per month for service after construction
Lighting	Residential	Tower lighting
Hours of Operation	N/A	24 hours per day

EXISTING VIOLATION (Y/N) AND NATURE OF VIOLATION: N

ENVIRONMENTAL ANALYSIS:

Initial Study No. 7611 was prepared for the project by County staff in conformance with the provisions of the California Environmental Quality Act (CEQA). Based on the Initial Study, staff has determined that a Mitigated Negative Declaration is appropriate. A summary of the Initial Study is included as Exhibit 9.

Notice of Intent of Mitigated Negative Declaration publication date: September 9, 2019

PUBLIC NOTICE:

Notices were sent to 7 property owners within 1,320 feet of the subject parcel, exceeding the minimum notification requirements prescribed by the California Government Code and County Zoning Ordinance.

PROCEDURAL CONSIDERATIONS:

An Unclassified Conditional Use Permit may be approved only if four Findings specified in the Fresno County Zoning Ordinance, Section 873-F are made by the Planning Commission.

The decision of the Planning Commission on an Unclassified CUP Application is final, unless appealed to the Board of Supervisors within 15 days of the Commission’s action.

BACKGROUND INFORMATION:

The proposal entails the construction of an unmanned wireless telecommunications facility consisting of a 150-foot lattice tower, and related antennas and equipment. The project will be built on a 40-foot by 50-foot fenced portion of a 1.45-acre parcel in the AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District. The Applicant intends to replace the existing tower approximately 1,688 feet south of the proposed tower to maintain the coverage needs of the carriers installed on the existing tower. The existing tower will be decommissioned and removed upon construction of the new wireless facility.

On March 4, 1972, the Fresno County Parcel Map Ordinance went into effect requiring a mapping procedure be completed for the subdivision of land into four or less parcels. Prior to

the implementation of the Parcel Map Ordinance, a parcel of any size and dimension could be created through the recordation of a deed. However, parcels created in such a manner were still subject to the development standards prescribed by the Zoning Ordinance. The subject parcel is in the same configuration as shown on the 1971-72 Assessor Map Rolls. This indicates that the parcel was created prior to the Parcel Map Ordinance coming into effect.

On June 8, 1960, the Fresno County Zoning Ordinance was adopted by the Board of Supervisors and the subject parcel was initially zoned Interim R-A (Single-Family Residential Agricultural, 36,000 square-foot minimum parcel size). Amendment Application No. 2870, pursued by the County of Fresno, was approved by the Board of Supervisors on August 31, 1976. Amendment Application No. 2870 (AA No. 2870) rezoned the subject parcel from the Interim R-A (Single-Family Residential Agricultural, 36,000 square-foot minimum parcel size) Zone District to an AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District.

Building permit records indicate the presence of two residences, a detached garage, and an animal cover. Additional structures on the property shown in the site plan have been determined to be pre-1958 structures and not subject to building permits. According to the California Building Code, structures 120 square feet or under, and used for storage purposes, are not subject to building permits. Therefore, it has been determined that the additional structures meet either requirement and are not subject to building permits.

Finding 1: *That the site of the proposed use is adequate in size and shape to accommodate said use and all yards, spaces, walls and fences, parking, loading, landscaping, and other features required by this Division, to adjust said use with land and uses in the neighborhood.*

	Current Standard:	Proposed Operation:	Is Standard Met (y/n)
Setbacks	AE-20 Zone District Front: 35 feet Side: 20 feet Rear: 20 feet	Front: Approximately 347 feet Side: Approximately 30 feet Rear: Approximately 20 feet	Y
Parking	No requirement	No change	Y
Lot Coverage	No requirement	No change	Y
Space Between Buildings	No animal or fowl pen, coop, stable, barn or corral within 40 feet of any dwelling or other building used for human habitation	Proposal not used for human habitation	Y
Wall Requirements	No requirement	No change	Y
Septic Replacement Area	100 percent replacement	No change	Y
Water Well Separation	Septic Tank: 100 feet	No new septic system proposed	Y

	Current Standard:	Proposed Operation:	Is Standard Met (y/n)
	Disposal Field: 100 feet Seepage Pit: 150 feet		

Reviewing Agency/Department Comments Regarding Site Adequacy:

Building and Safety Section of the Fresno County Department of Public Works and Planning: Plans, permits, and inspections will be required for all on-site improvements. **This shall be included as a Project Note.**

Mapping Section of the Fresno County Department of Public Works and Planning: Prior to site development, all survey monumentation – Property Corners, Centerline Monumentation, Section Corners, County Benchmarks, Federal Benchmarks and Triangulation Stations, etc. – within the subject area shall be preserved in accordance with Section 8771 of the Professional Land Surveyors Act and Section 6730.2 of the Professional Engineers Act. **This shall be included as a Project Note.**

No other comments specific to the adequacy of the site were expressed by reviewing Agencies or Departments.

Analysis:

Staff review of the submitted site plan shows that the proposed 40-foot by 50-foot fenced area will be located in the southwest corner of the subject 1.45-acre parcel. The 150-foot lattice tower will be located outside of setbacks established by the AE-20 Zone District. Based on the conducted analysis, staff believes that the project site is adequate in shape and size to accommodate the proposed use.

Recommended Conditions of Approval:

None.

Conclusion:

Finding 1 can be made.

***Finding 2:** That the site for the proposed use relates to streets and highways adequate in width and pavement type to carry the quantity and kind of traffic generated by the proposed use.*

		Existing Conditions	Proposed Operation
Private Road	No	An existing on-site access road	The existing access road will be improved with a 12-foot-wide access easement to access the project site.

		Existing Conditions	Proposed Operation
Public Road Frontage	No	The subject parcel fronts Elm Avenue, a County-maintained road.	The project site does not directly front Elm Avenue and will utilize an existing access road and proposed access easement.
Direct Access to Public Road	Yes	An existing access road and driveway provide access to Elm Avenue.	Existing access road and proposed access easement will be utilized for access to Elm Avenue.
Road ADT		900 ADT	No change
Road Classification		Local Road	No change
Road Width		60 feet	No change
Road Surface		Paved asphalt	No change
Traffic Trips		Residential	2 round trips; 4 one-way trips per month
Traffic Impact Study (TIS) Prepared	No	N/A	No significant increase in traffic expected
Road Improvements Required		N/A	None required.

Reviewing Agency/Department Comments Regarding Adequacy of Streets and Highways:

Development Engineering Section of the Fresno County Department of Public Works and Planning: Elm Avenue is classified as a Local road with an existing 30-foot right-of-way west of the section line along the parcel frontage, per Plat Book. The minimum width for a Local road right-of-way south of the section line is 30 feet.

Elm Avenue is a County-maintained road. Records indicate this section of Elm, from Clarkson to Highway 41, has an ADT of 900, pavement width of 25 feet, structural section of 0.5 AC, and is in fair condition.

If not already present, 10' x 10' corner cutoffs should be improved for sight distance purposes at the existing driveway onto Elm Avenue. **This shall be included as a Project Note.**

According to FEMA, FIRM Panel the parcel is not subject to flooding from the 100-year storm.

According to U.S.G.S. Quad Maps, there are no existing natural drainage channels traversing the subject parcel.

A grading voucher is required. **This shall be included as a Project Note.**

No other comments specific to the adequacy of streets and highways were expressed by reviewing Agencies or Departments.

Analysis:

Per the Applicant’s Operational Statement, they estimate that the unmanned wireless telecommunications facility will require at least two maintenance trips a month. This indicates a total of four one-way traffic trips a month. The Applicant also indicates that the purpose of this project is to replace an existing tower that is on a different parcel, but is located in close proximity to the project site. The existing tower is located on Elkhorn Avenue, and it can be assumed that the existing tower produces the same amount of traffic trips as the proposed replacement tower. The proposed project will redistribute trips to Elm Avenue, but will not significantly increase traffic above current conditions. Based on this information, staff believes that Finding 2 can be made.

Recommended Conditions of Approval:

None.

Conclusion:

Finding 2 can be made.

Finding 3: *That the proposed use will have no adverse effect on abutting property and surrounding neighborhood or the permitted use thereof.*

Surrounding Parcels				
	Size:	Use:	Zoning:	Nearest Residence:
North	37.74 acres	Orchard	AE-20	1,590 feet northeast
South	37.74 acres	Orchard	AE-20	520 feet south
East	36.81 acres	Southwest Transportation Agency	AE-20 and AE-40	N/A
West	37.74 acres	Orchard	AE-20	N/A

Reviewing Agency/Department Comments:

Fresno County Department of Agriculture: The amount of acres lost to the project are minimal and would not have a significant impact to the overall agricultural production.

The Applicant should acknowledge the Fresno County Right-to-Farm Notice. Fresno County Right-to Farm-Notice: “It is the declared policy of Fresno County to preserve, protect, and encourage development of its agricultural land and industries for the production of food and other agricultural products. Residents of property in or near agricultural districts should be prepared to accept the inconveniences and discomfort associated with normal farm activities.” Consistent with this policy, California Civil Code 3482.5 (right-to-farm law) provides that an

agricultural pursuit, as defined, maintained for commercial uses shall not become a nuisance due to a changed condition in a locality after such agricultural pursuit has been in operation for three years.” **This shall be included as a Condition of Approval.**

Fresno County Department of Public Health, Environmental Health Division: Facilities proposing to use and/or store hazardous materials and/or hazardous wastes shall meet the requirements set forth in the California Health and Safety Code (HSC), Division 20, Chapter 6.95, and the California Code of Regulations (CCR), Title 22, Division 4.5. Any business that handles a hazardous material or hazardous waste may be required to submit a Hazardous Materials Business Plan pursuant to the HSC, Division 20, Chapter 6.95. The default State reporting thresholds that apply are: ≥ 55 gallons (liquids), ≥ 500 pounds (solids), ≥ 200 cubic feet (gases), or at the threshold planning quantity for extremely hazardous substances. **This shall be included as a Project Note.**

All hazardous waste shall be handled in accordance with requirements set forth in the California Code of Regulations (CCR), Title 22, Division 4.5. This Division discusses proper labeling, storage and handling of hazardous wastes. **This shall be included as a Project Note.**

The proposed construction has the potential to expose residents to short-term elevated noise levels. Considerations should be given to the County of Fresno Noise Ordinance Code. **This shall be included as a Project Note.**

Fresno County Fire Protection District: The project shall comply with California Code of Regulations Title 24 – Fire Code. Prior to receiving Fresno County Fire Protection District (FCFPD) conditions of approval, the Applicant must submit construction plans to the Fresno County Department of Public Works and Planning for review. It is the Applicant’s responsibility to deliver a minimum of three sets of plans to FCFPD. **This shall be included as a Project Note.**

Project/Development, including Single-Family Residential (SFR) property of three or more lots, Multi-Family Residential (MFR) property, Commercial property, Industrial property, and/or Office property, shall annex into Community Facilities District No. 2010-01 of the Fresno County Fire Protection District. **This shall be included as a Project Note.**

Project/Development will be subject to the requirements of the current Fire Code and Building Code when a building permit or certificate of occupancy is sought. **This shall be included as a Project Note.**

No other comments specific to land use compatibility were expressed by reviewing Agencies or Departments.

Analysis:

The project site is located in an agricultural area. The subject parcel is zoned for agricultural, but is utilized mainly for single-family residential purposes. The subject 1.45-acre parcel is surrounded by a 37.74-acre parcel to the north, west and south and is actively farmed. The eastern parcel contains the Southwest Transportation Agency. The proposed lattice tower will be similar to the existing lattice tower. Ground equipment will be screened from public view, as the project site is located towards the rear of the subject property and various structures are orientated to break line of sight to the project area. Additionally, the subject parcel is surrounded by orchards that further screen the use. Staff believes that aesthetic impacts are limited, as there is an existing tower that will be decommissioned if the proposed project is

approved, and the project location will be properly screened by existing buildings and orchards from the surrounding agricultural operations.

Mitigation Measures discussed in the Initial Study prepared for the project address the potential installation of outdoor lights. In the even that outdoor lighting is installed, a Mitigation Measure has been implemented that all outdoor lighting shall be hooded and directed downward so as not to shine on public roads or surrounding properties.

The Department of Agriculture, Department of Public Health, and the Fresno County Fire Protection District have reviewed the project and provided requirements that further reduce the potential of adverse effects that the project could have on abutting properties and the surrounding agricultural community.

Due to the height of the proposed tower and proximity to Lemoore Naval Air Station, a Condition of Approval has been added requiring the Applicant to file and receive approval of the tower by the Federal Aviation Administration (FAA) prior to obtaining permits for the construction of the tower.

Based on the above information, staff believes the proposal will not have an adverse effect upon surrounding properties.

Recommended Conditions of Approval:

See recommended Conditions of Approval attached as Exhibit 1.

Conclusion:

Finding 3 can be made.

Finding 4: *That the proposed development is consistent with the General Plan.*

Relevant Policies:	Consistency/Considerations:
<p>General Plan Policy LU-A.3: The County may allow by discretionary permit in areas designated as Agricultural, special agricultural uses and agriculturally-related activities, including value-added processing facilities, and certain non-agricultural uses. Approval of these and similar uses in areas designated as Agricultural shall be subject to the following criteria:</p> <p>Policy LU-A.3.a: The use shall provide a needed service to the surrounding agricultural area which cannot be provided more efficiently within urban areas or which requires location in a non-urban area because of unusual site requirements or operational characteristics.</p>	<p>In regard to Policy LU-A.3, the subject proposal is allowed in Agricultural areas, subject to an Unclassified Conditional Use Permit.</p> <p>In regard to Policy LU-A.3.a, the proposal will maintain wireless coverage for the surrounding agricultural community, as an existing wireless communications tower in the vicinity is set to be decommissioned and removed. As wireless telecommunications coverage is based on the location of the tower and associated equipment, the project cannot be located more efficiently in an urban area.</p> <p>In regard to Policy LU-A.3.b, the subject parcel is utilized for residential purposes and is not actively farmed.</p> <p>In regard to Policy LU-A.3.c, the project is proposing an unmanned facility and will not</p>

Relevant Policies:	Consistency/Considerations:
<p>Policy LU-A.3.b: The use should not be sited on productive agricultural lands if less productive land is available in the vicinity.</p> <p>Policy LU-A.3.c: The operational or physical characteristics of the use shall not have a detrimental impact on water resources or the use or management of surrounding properties within a least one quarter (1/4)-mile radius.</p> <p>Policy LU-A.3.d: A probable workforce should be located nearby or be readily available.</p>	<p>require the use of water resources to operate. Therefore, the project will not have a detrimental impact on water resources.</p> <p>In regard to Policy LU-A.3.d, the project site is located approximately 3.36 miles southeast of the unincorporated community of Caruthers. Additionally, the project site is located near Highway 41, which provides efficient access from larger population areas.</p>
<p>General Plan Policy PF-J.4: The County shall require compliance with the Wireless Communications Guidelines for siting of communication towers in unincorporated areas of the County.</p>	<p>Applicants are required to submit evidence regarding alternative sites being considered for colocation opportunities and evidence of due diligence on negotiating for colocation. Additional guidelines are related to placement and aesthetics of the tower.</p> <p>The Applicant has submitted an Alternative Site Analysis and explanation for the new tower. An old tower is set to be decommissioned and removed and the Applicants would like to replace the tower on a nearby property to ensure coverage throughout the area. The Alternative Site Analysis also stated that the only other available tower in the vicinity that would meet coverage needs is a guyed wire tower, and the Applicant has concerns regarding structural issues for colocating additional equipment. The proposed tower will be located on a residential parcel and located at the rear (southwest edge) of the property, minimizing aesthetic impacts.</p> <p>After staff review of the design and Alternative Site Analysis, it has been determined that sufficient evidence has been presented to be consistent with the County of Fresno Wireless Communications Guidelines, and therefore be consistent with General Plan Policy PF-J.4.</p>

Reviewing Agency Comments:

Policy Planning Section of the Fresno County Department of Public Works and Planning: The subject parcel is designated as Agricultural in the Fresno County General Plan and is not enrolled in the Williamson Act program.

No other comments specific to General Plan Policy were expressed by reviewing Agencies or Departments.

Analysis:

General Plan Policy PF-J.4 requires compliance with the Wireless Communications Guidelines, which address several concerns related to the development of cell towers, including site placement, colocation opportunities, and alternative site locations. The Applicant indicates that the proposal will maintain coverage for the area, as an existing tower is set to be decommissioned and removed. County records indicate that there are seven approved cell towers located within a five-mile radius of the project site. This count includes the aforementioned tower that is set to be decommissioned. As a Condition of Approval, the Applicant will be required to obtain and finalize a demolition permit for the existing tower that is set to be decommissioned prior to finalization of the proposed wireless telecommunications facility.

Fresno County Wireless Communication Guidelines require that towers should be sited to minimize aesthetic impact to adjacent properties. Based on the submitted site plans, the proposed tower is set back approximately 347 feet from the front property line, approximately 30 feet from the closest side property line, and approximately 20 feet from the rear property line. Existing buildings and surrounding orchards will screen ground equipment from the public right-of-way.

Based on the prepared Alternative Site Analysis, the colocation opportunities for the existing equipment would not meet the needs of the Applicant and carrier, as coverage is being provided from the existing tower. With the decommissioning of the existing tower, the Applicant has proposed another site that would maintain coverage. Colocation opportunities for this site is shown on the Site Plan and Elevations of the project, and a Condition of Approval will be implemented to provide colocation opportunities for other carriers.

Based on the above analysis, staff believes that the proposed project is consistent with the General Plan and County Wireless Communications Guidelines.

Recommended Conditions of Approval:

See recommended Conditions of Approval attached as Exhibit 1.

Conclusion:

Finding 4 can be made.

PUBLIC COMMENT:

None.

CONCLUSION:

Based on the factors cited in the analysis, staff believes the required Findings for granting the Unclassified Conditional Use Permit can be made. Staff therefore recommends approval of Unclassified Conditional Use Permit No. 3648, subject to the recommended Conditions and Project Notes.

PLANNING COMMISSION MOTIONS:

Recommended Motion (Approval Action)

- Move to adopt the Mitigated Negative Declaration prepared for Initial Study Application No. 7611; and
- Move to determine the required Findings can be made and move to approve Unclassified Conditional Use Permit No. 3648, subject to the Mitigation Measures, Conditions of Approval and Project Notes listed in Exhibit 1; and
- Direct the Secretary to prepare a Resolution documenting the Commission's action.

Alternative Motion (Denial Action)

- Move to determine that the required Findings cannot be made (state basis for not making the Findings) and move to deny Unclassified Conditional Use Permit No. 3648; and
- Direct the Secretary to prepare a Resolution documenting the Commission's action.

Mitigation Measures, Recommended Conditions of Approval and Project Notes:

See attached Exhibit 1.

TK:ksn

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Mitigation Monitoring and Reporting Program
Initial Study Application No. 7611/Unclassified Conditional Use Permit Application No. 3648
(Including Conditions of Approval and Project Notes)

Mitigation Measures					
Mitigation Measure No. *	Impact	Mitigation Measure Language	Implementation Responsibility	Monitoring Responsibility	Time Span
1.	Aesthetics	All outdoor lighting shall be hooded and directed downward so as not to shine on adjacent properties or public right-of-way.	Applicant	Applicant/Department of Public Works and Planning (PW&P)	Ongoing
2.	Cultural Resources/ Tribal Cultural Resources	In the event that cultural resources are unearthed during ground-disturbing activities, all work shall be halted in the area of the find. An Archeologist shall be called to evaluate the findings and make any necessary mitigation recommendations. If human remains are unearthed during ground-disturbing activities, no further disturbance is to occur until the Fresno County Sheriff-Coroner has made the necessary findings as to origin and disposition. All normal evidence procedures should be followed by photos, reports, video, etc. If such remains are determined to be Native American, the Sheriff-Coroner must notify the Native American Commission within 24 hours.	Applicant	Applicant/PW&P	During ground-disturbing activities
3.	Energy	The idling of on-site vehicles and equipment will be avoided to the most possible extent to avoid wasteful or inefficient energy consumption during the construction of the project.	Applicant	Applicant/PW&P	During construction activities
Conditions of Approval					
1.	Development of the property shall be in accordance with the Site Plan, Flood Plan, Elevations, and Operational Statement approved by the Commission.				
2.	The approval shall expire in the event that use of the tower ceases for a period in excess of two years. At such time, the tower and related facilities shall be removed and the lease area shall be restored as nearly as practical to its original condition. This stipulation shall be recorded as an Agreement. Note: This Department will prepare the Agreement upon receipt of the standard processing fee, which is currently \$243.50.				
3.	The Applicant must apply for and receive a demolition permit, and acquire final inspection of the demolition of the existing tower located on APN: 042-200-35S prior to finalization of the building permits associated with the proposed unmanned wireless telecommunications facility.				

4.	Prior to the issuance of permits, evidence shall be submitted showing provisions have been made to accommodate collocation, such as provision for collocation in a signed lease agreement and additional area within the lease area for collocation of equipment, or other information that demonstrates the facility shall make itself available for collocation.
5.	Prior to the issuance of a building permit, the Applicant shall obtain Federal Aviation Administration (FAA) approval of the tower.
6.	Prior to the issuance of a building permit, the Applicant shall enter into a Covenant acknowledging the Fresno County Right-to-Farm Notice. Fresno County Right-to-Farm Notice: "It is the declared policy of Fresno County to preserve, protect, and encourage development of its agricultural land and industries for the production of food and other agricultural products. Residents of property in or near agricultural district should be prepared to accept the inconveniences and discomfort associated with normal farm activities." Consistent with this policy, California Civil Code 3482.5 (right-to-farm law) provides that an agricultural pursuit, as defined, maintained for commercial uses shall not become a nuisance due to a changed condition in a locality after such agricultural pursuit has been in operation for three years. Note: This Department will prepare the Covenant upon receipt of the standard processing fee, which is currently \$243.50.

*MITIGATION MEASURE – Measure specifically applied to the project to mitigate potential adverse environmental effects identified in the environmental document
Conditions of Approval reference recommended Conditions for the project.

Notes

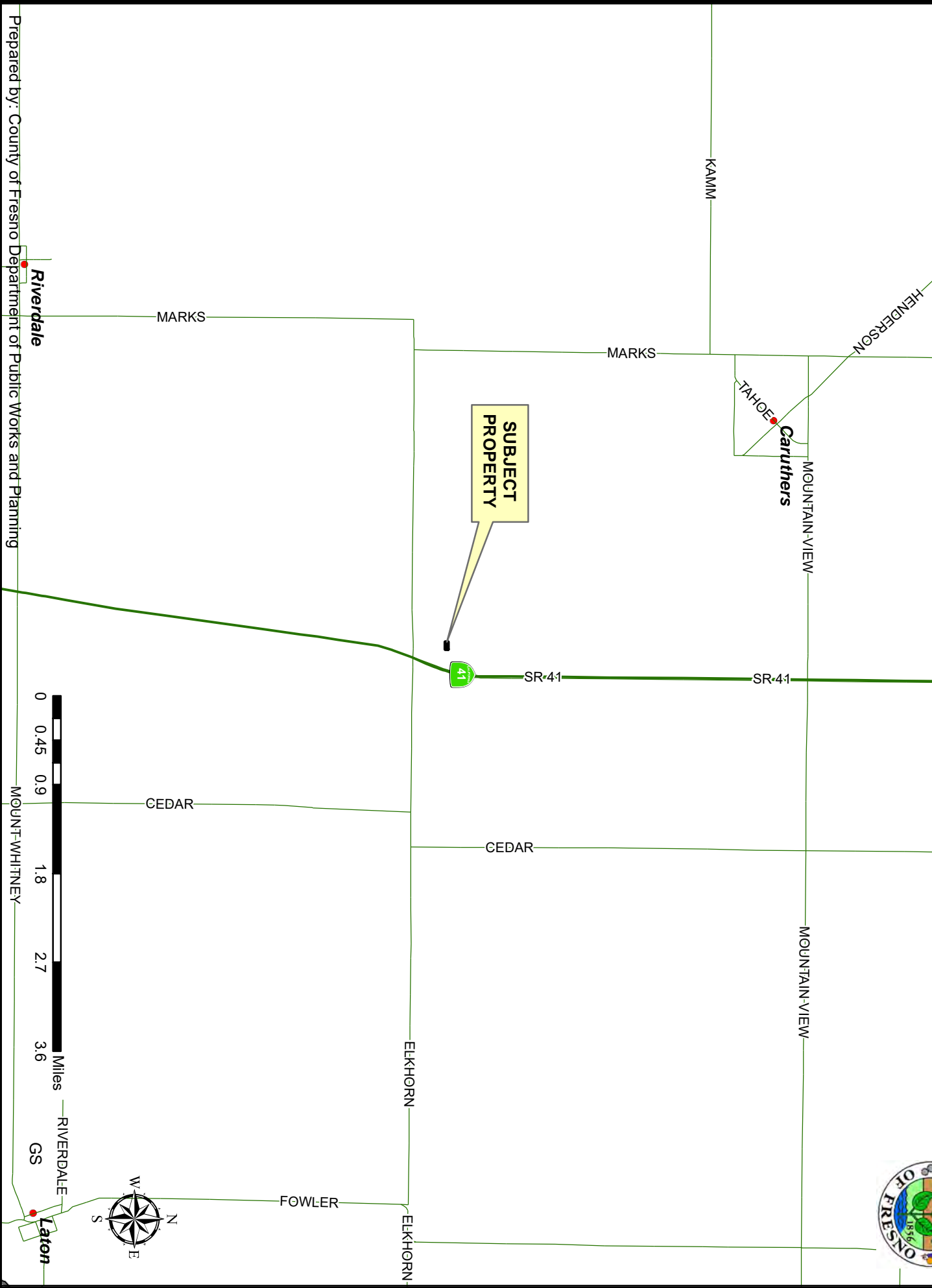
The following Notes reference mandatory requirements of Fresno County or other Agencies and are provided as information to the project Applicant.

1.	Plans, permits, and inspections will be required for all on-site improvements.
2.	Prior to site development, all survey monumentation – Property Corners, Centerline Monumentation, Section Corners, County Benchmarks, Federal Benchmarks, and Triangulation Stations, etc. – within the subject area shall be preserved in accordance with Section 8771 of the Professional Land Surveyors Act and Section 6730.2 of the Professional Engineers Act.
3.	If not already present, 10' x 10' corner cutoffs should be improved for sight distance purposes at the existing driveway onto Elm Avenue.
4.	A grading voucher is required.
5.	Facilities proposing to use and/or store hazardous materials and/or hazardous wastes shall meet the requirements set forth in the California Health and Safety Code (HSC), Division 20, Chapter 6.95, and the California Code of Regulations (CCR), Title 22, Division 4.5. Any business that handles a hazardous material or hazardous waste may be required to submit a Hazardous Materials Business Plan pursuant to the HSC, Division 20, Chapter 6.95. The default State reporting thresholds that apply are: >55 gallons (liquids), ≥500 pounds (solids), ≥200 cubic feet (gases), or at the threshold planning quantity for extremely hazardous substances.
6.	All hazardous waste shall be handled in accordance with requirements set forth in the California Code of Regulations (CCR), Title 22, Division 4.5. This Division discusses proper labeling, storage and handling of hazardous wastes.
7.	The proposed construction has the potential to expose residents to short-term elevated noise levels. Considerations should be given to the County of Fresno Noise Ordinance Code.

Notes	
8.	The project shall comply with California Code of Regulations Title 24 – Fire Code. Prior to receiving Fresno County Fire Protection District (FCFPD) conditions of approval, the Applicant must submit construction plans to the Fresno County Department of Public Works and Planning for review. It is the Applicant's responsibility to deliver a minimum of three sets of plans to FCFPD.
9.	Project/Development, including Single-Family Residential (SFR) property of three or more lots, Multi-Family Residential (MFR) property, Commercial property, Industrial property, and/or Office property, shall annex into Community Facilities District No. 2010-01 of the Fresno County Fire Protection District.
10.	Project/Development will be subject to the requirements of the current Fire Code and Building Code when a building permit or certificate of occupancy is sought.

TK:kstn
G:\4360Dews&Pn\PROJSEC\PROJDOCS\CUP\3600-3699\3648\SR\CUP 3648 MMRP (Ex 1).docx

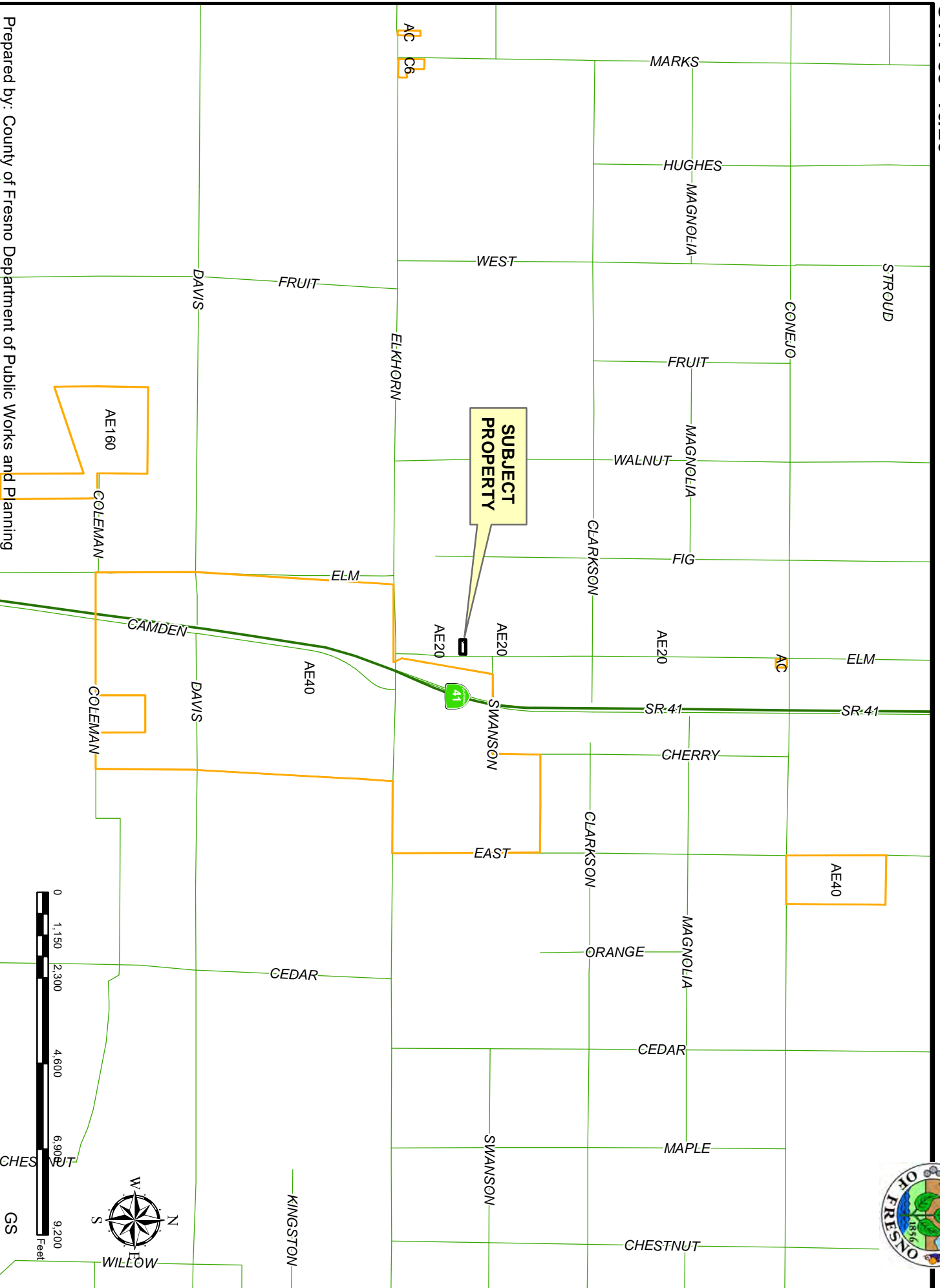
LOCATION MAP



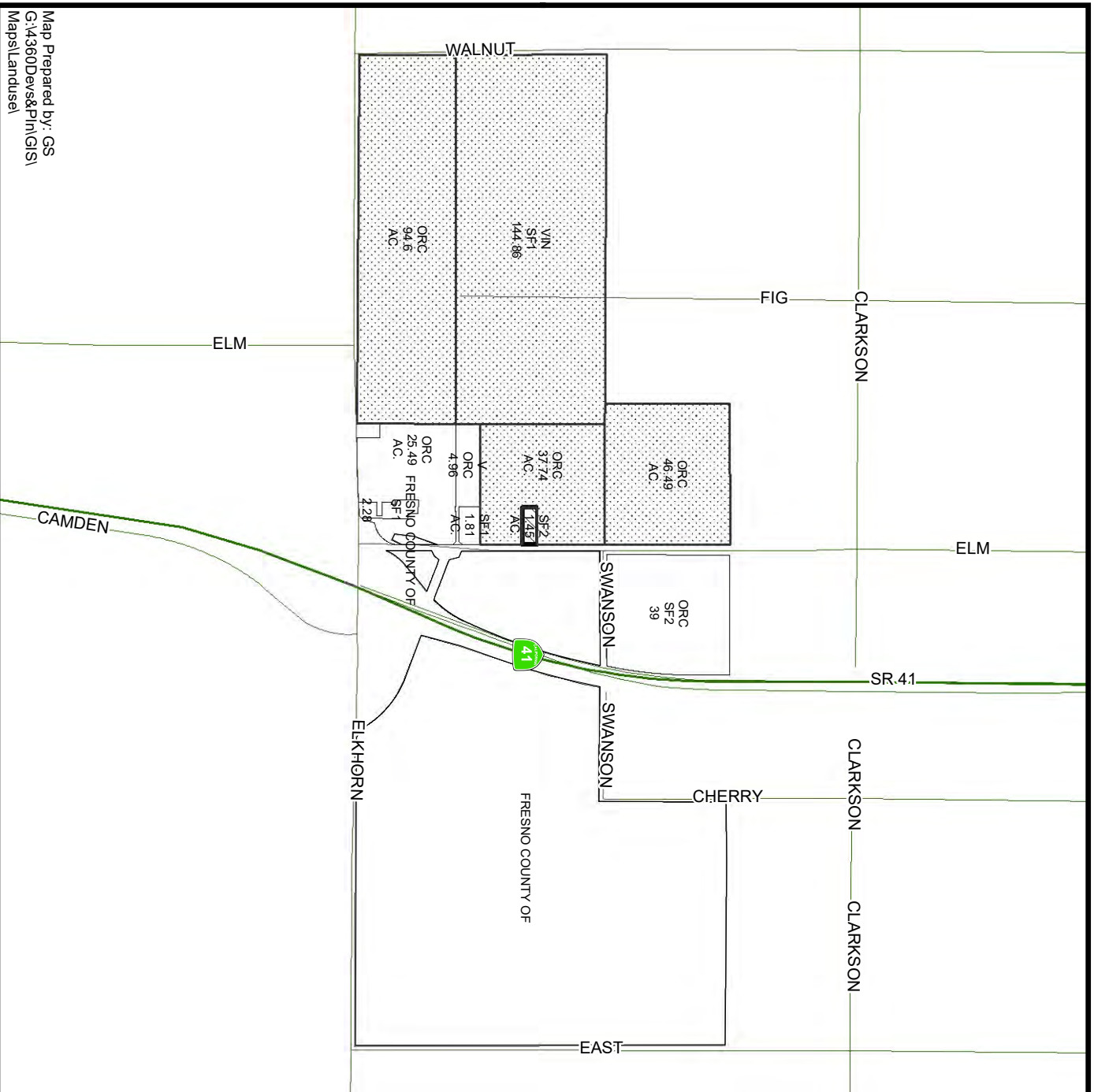
Prepared by: County of Fresno Department of Public Works and Planning

EXHIBIT 2

EXISTING ZONING MAP



EXISTING LAND USE MAP



LEGEND
ORC - ORCHARD
SF# - SINGLE FAMILY RESIDENCE
V - VACANT
VIN - VINEYARD

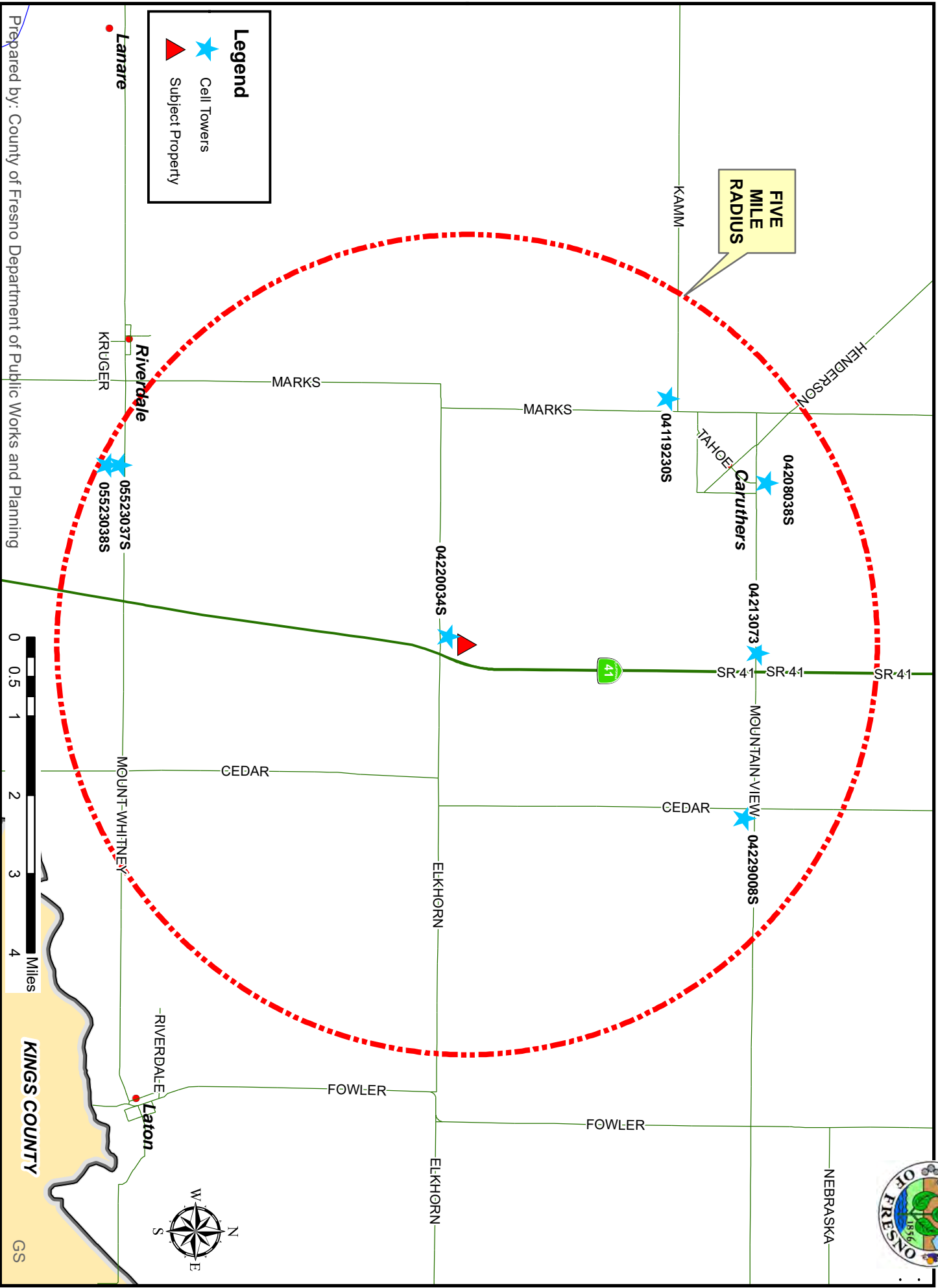
LEGEND:

-  Subject Property
-  Ag Contract Land



Department of Public Works and Planning
Development Services Division

APPROVED CELL TOWERS WITHIN A FIVE MILE RADIUS



Legend

- ★ Cell Towers
- ▲ Subject Property

FIVE MILE RADIUS

Prepared by: County of Fresno Department of Public Works and Planning

EXHIBIT 5



KINGS COUNTY

GS



SITE NUMBER: 831105
SITE NAME: FIVE POINTS
SITE TYPE: LATTICE TOWER
TOWER HEIGHT: 150'-0"

ADDRESS: 16629 S. ELM AVENUE
CARUTHERS, CA 93609
COUNTY: FRESNO
JURISDICTION: CITY OF FRESNO

PROJECT SUMMARY:

SITE ADDRESS:
16629 S. ELM AVENUE
CARUTHERS, CA 93609
PROPERTY OWNER:
CLAUDIA HILDEBRAND
16629 S. ELM AVE.
CARUTHERS, CA 93609
PHONE: (559) 923-4894
EMAIL: childebrand@hotmail.com
TOWER OWNER:
CROWN CASTLE
1 PARK PLACE, SUITE 300
DUBLIN, CA 94568

BUILDING SUMMARY: EXCLUSIVE AGRICULTURE
OCCUPANCY CLASSIFICATION: -
TYPE OF CONSTRUCTION: -
ZONING: -
AREA OF CONSTRUCTION: 042-200-045
ASSESSORS PARCEL NUMBER: 36-29-39-48 N,
LATITUDE: 36° 29' 39.48" N,
LONGITUDE: -119° 47' 33.107" W.

CONSULTING TEAM:

ARCHITECT/ENGINEER: WED ENGINEERING, INC.
2155 LAS POSITAS COURT, SUITE 1M
LIVERMORE, CA 94551
SITE ACQUISITION: BEACON DEVELOPMENT, LLC.
3 ROYVINA LANE
PELALUMA, CA 94952
CONTACT: JASON F. OSBORNE
PHONE: (415) 529-8848
EMAIL: jfson@beacondev.net
ZONING MANAGER: BEACON DEVELOPMENT, LLC.
3 ROYVINA LANE
PELALUMA, CA 94952
CONTACT: JASON F. OSBORNE
PHONE: (415) 529-8848
EMAIL: jfson@beacondev.net
CONSTRUCTION MANAGER: WEST AREA - SERVICE
1 PARK PLACE, SUITE 300
DUBLIN, CA 94568
CONTACT: JASON S. KIDD
PHONE: (925) 832-3000
EMAIL: jason.kidd@ccnccastle.com

APPLICANT/LESSEE: CROWN CASTLE
1 PARK PLACE, SUITE 300
DUBLIN, CA 94568

SHEET INDEX:

SHEET:	DESCRIPTION:
T-1	TITLE SHEET
T-2	GENERAL NOTES
S-1	SITE SURVEY
A-1	OVERALL SITE PLAN
A-2	PROJECT AREA PLAN
A-3	ANTENNA LAYOUT
A-4	ELEVATIONS
A-5	DETAILS
A-6	DETAILS
A-7	DETAILS
A-8	DETAILS
E-1	UTILITY SITE PLAN
E-2	SINGLE LINE DIAGRAM AND PANEL SCHEDULE
G-1	GROUNDING PLANS
G-2	GROUNDING DETAILS
G-3	GROUNDING DETAILS
GN-1	GENERAL NOTES
GN-2	SITE SIGNAGE
POWER AND TELCO DESIGN INFORMATION	
A-1	SITE PLAN
A-2	ENLARGED SITE PLAN
E-1	ELECTRICAL PLAN
TOWER DRAWINGS & FOUNDATION INFORMATION	
229805-01-D1	TOWER DRAWING
229805-01-F1	TOWER FOUNDATION

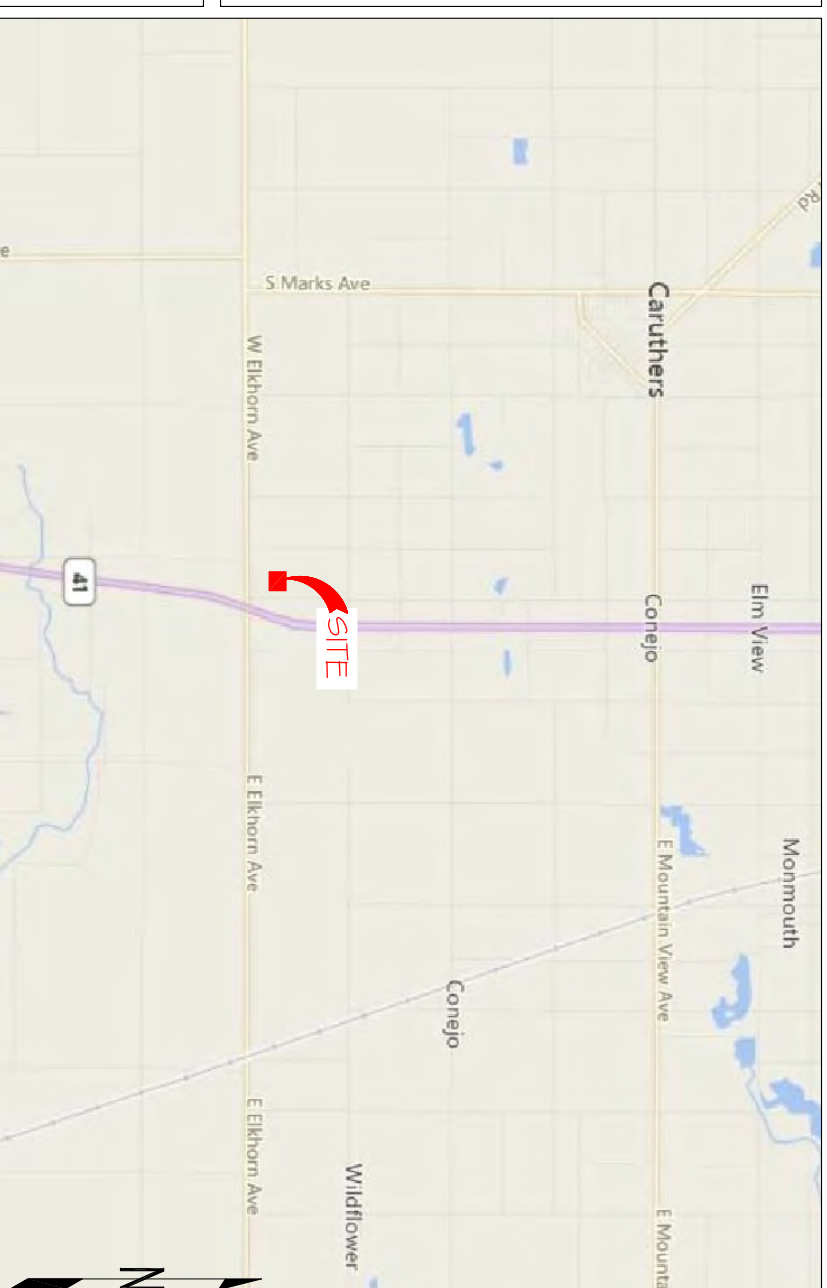
PROJECT DESCRIPTION:

CROWN CASTLE PROPOSES TO CONSTRUCT A WIRELESS ANTENNA SITE. THE SCOPE WILL CONSIST OF THE FOLLOWING:
• NEW 150'-0" TALL LATTICE TOWER
• NEW 40'-0" x 50'-0" CHAINLINK FENCE WITH BARBED WIRE EQUIPMENT ENCLOSURE
• NEW ELECTRICAL 400 AMPER WITH FUSED DISCONNECT, INTERSECT CABINET.
• ALL NEW ELECTRICAL PER SECTION 3 TOTAL
• INSTALL NEW RISE PER SECTION 3 TOTAL
• INSTALL NEW (2) DC-65 MOUNTED TO EXISTING LATTICE TOWER.

APPROVALS:

THE FOLLOWING PARTIES HEREBY APPROVE AND ACCEPT THESE DOCUMENTS AND AUTHORIZE THE CONTRACTOR TO PROCEED WITH THE CONSTRUCTION DESCRIBED HEREIN. ALL CONSTRUCTION DOCUMENTS ARE SUBJECT TO REVIEW BY THE LOCAL BUILDING DEPARTMENT AND ANY CHANGES AND MODIFICATIONS THEY MAY IMPOSE.

PRINT NAME	SIGNATURE	DATE
PROJ. MANAGER		
CONST. PM.		
RF ENGINEER		
SAC REP.		
PLAN. CONSULTANT		
PROP. OWNER		
CROWN CASTLE REP.		



APPLICABLE CODES:

- ALL WORK SHALL BE PERFORMED AND MATERIALS INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES, NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.
- INTERNATIONAL BUILDING CODE (2015 IBC)
 - IRA-A-222-02 OR LATEST EDITION
 - 2017 NATIONAL ELECTRICAL CODE OR LATEST EDITION
 - ANY OTHER NATIONAL OR LOCAL APPLICABLE CODES, MOST RECENT EDITIONS
 - CALIFORNIA CODE OF REGULATIONS
 - 2016 CALIFORNIA BUILDING CODE
 - 2016 CALIFORNIA MECHANICAL CODE
 - 2016 CALIFORNIA ELECTRICAL CODE
 - 2016 CALIFORNIA PLUMBING CODE
 - 2016 CALIFORNIA FIRE ALARMS AND SIGNALING CODE
 - CITY/COUNTY ORDINANCES WHERE APPLICABLE
 - LIFE SAFETY CODE NFPA-101



PROJECT INFORMATION:
8311105
FIVE POINTS
16629 S. ELM AVENUE
CARUTHERS, CA 93609

CURRENT ISSUE DATE: 08/28/19

ISSUED FOR: 100% CONSTRUCTION DRAWINGS

REV. #	DATE	DESCRIPTION	BY
A	2/13/19	100% CONSTRUCTION DRAWING	JS
B	3/15/19	90% CONSTRUCTION DRAWING	JS
C	6/12/19	95% CONSTRUCTION DRAWING	JS
0	6/24/19	100% CONSTRUCTION DRAWING	JS
1	8/28/19	100% CONSTRUCTION DRAWING	JS

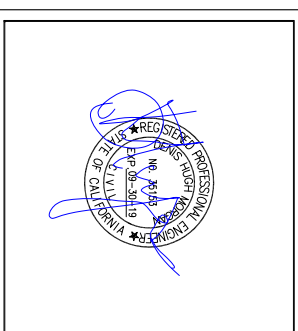
PROJECT ARCHITECT/ENGINEER:

WSD
2155 LAS POSITAS COURT, SUITE 1M
LIVERMORE, CA 94551

CONSULTANT:

BEACON DEVELOPMENT, LLC
3 ROYVINA LANE
PELALUMA, CA 94952

DRAWN BY: SJS **CHK. BY:** MIF **APV. BY:** MIF
LICENSER:



SHEET TITLE: TITLE SHEET

SHEET NUMBER: T-1

GENERAL CONSTRUCTION NOTES

- PLANS ARE INTENDED TO BE DIAGNOSTIC OUTLINE ONLY. UNLESS OTHERWISE THE WORK SHALL INCLUDE FINISHING MATERIALS, EQUIPMENT, APPLIQUANCES AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.
- THE CONTRACTOR SHALL OBTAIN IN WRITING, AUTHORIZATION TO PROCEED BEFORE STARTING WORK ON ANY ITEM NOT CLEARLY DEFINED OR IDENTIFIED BY THE CONTRACT DOCUMENTS.
- CONTRACTOR SHALL CONTACT USA UNDERGROUND SERVICE ALERT AT (800) 222-2600, FOR UTILITY LOCATIONS, 48 HOURS BEFORE PROCEEDING WITH ANY EXCAVATION, SITE WORK OR CONSTRUCTION.
- THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS UNLESS SPECIFICALLY INDICATED OTHERWISE, OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CRC / JURCS REQUIREMENTS REGARDING EARTHQUAKE RESISTANCE FOR, BUT NOT LIMITED TO, FRINGE, JOINT TRAVES, CEILING GRID, INTERIOR PARTITIONS, AND MECHANICAL EQUIPMENT. ALL WORK MUST COMPLY WITH LOCAL EARTHQUAKE CODES AND REGULATIONS.
- REPRESENTATIONS OF TRUE NORTH, OTHER THAN THOSE FOUND ON THE PLOT OF SURVEY DRAWINGS, SHALL NOT BE USED TO IDENTIFY OR ESTABLISH BEARING OF TRUE NORTH AT THE SITE. THE CONTRACTOR SHALL RELY SOLELY ON THE PLOT OF SURVEY DRAWING AND ANY SURVEYORS MARKINGS AT THE SITE FOR THE ESTABLISHMENT OF TRUE NORTH, AND SHALL NOTIFY THE ARCHITECT / ENGINEER PRIOR TO PROCEEDING WITH THE WORK IF ANY DISCREPANCY IS FOUND BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND THE TRUE NORTH ORIENTATION AS DEPICTED ON THE CIVIL SURVEY. THE CONTRACTOR SHALL ASSUME SOLE LIABILITY FOR ANY FAILURE TO NOTIFY THE ARCHITECT / ENGINEER.
- THE BUILDING DEPARTMENT'S RECORDS SHALL BE NOTIFIED WORKING DAYS PRIOR TO THE COMMENCEMENT OF WORK OR AS OTHERWISE STIPULATED BY THE CODES ENFORCEMENT OFFICIALS HAVING JURISDICTION.
- DO NOT EXCAVATE OR DISTURB BEYOND THE PROPERTY LINES OR LEASE LINES, UNLESS OTHERWISE NOTED.
- ALL EXISTING UTILITIES, FACILITIES, CONDITIONS, AND THEIR DIMENSIONS SHOWN ON THE PLAN HAVE BEEN PLOTTED FROM AVAILABLE RECORDS. THE ARCHITECT / ENGINEER AND THE OWNER ASSUME NO RESPONSIBILITY WHATSOEVER AS TO THE SUFFICIENCY OR THE ACCURACY OF THE INFORMATION SHOWN ON THE PLANS. ON THE MATTER OF THEIR REMOVAL OR ALTERATION, CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND PRESERVATION OF ALL UTILITIES AND FACILITIES PRIOR TO STARTING CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING FROM EACH UTILITY COMPANY DETAILED INFORMATION RELATIVE TO WORKING SCHEDULES AND METHODS OR REMOVING OR ADJUSTING EXISTING UTILITIES.
- CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES, BOTH HORIZONTAL AND VERTICALLY, PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES OR DOUBTS AS TO THE INTERPRETATION OF THE PLANS SHOULD BE IMMEDIATELY REPORTED TO THE ARCHITECT / ENGINEER FOR RESOLUTION AND INSTRUCTION. ANY NO PARTNER WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS CHECKED AND CORRECTED BY THE ARCHITECT / ENGINEER. FAILURE TO SECURE SUCH INSTRUCTIONS MEANS CONTRACTOR WILL HAVE WORKED AT HIS/HER OWN RISK AND EXPENSE.
- ALL NEW AND EXISTING UTILITY STRUCTURES ON SITE AND IN AREAS TO BE DISTURBED BY CONSTRUCTION SHALL BE ADJUSTED TO FINISH ELEVATIONS PRIOR TO FINAL INSPECTION OF WORK.
- ANY DRAIN AND / OR FIELD TILE RECONSTRUCTED / DISTURBED DURING CONSTRUCTION SHALL BE RETURNED TO ITS ORIGINAL CONDITION PRIOR TO COMPLETION OF WORK. SIZE, LOCATIONS AND TYPE OF ANY UNDERGROUND UTILITIES OR IMPROVEMENTS SHALL BE ACCURATELY NOTED AND PLACED ON AS BUILT DRAWINGS BY GENERAL CONTRACTOR, AND SUBMITTED TO THE ARCHITECT / ENGINEER AT COMPLETION OF PROJECT.
- ALL TEMPORARY EXCAVATIONS FOR THE INSTALLATION OF FOUNDATIONS, UTILITIES, ETC., SHALL BE PROPERLY LAID BACK OR BRACED IN ACCORDANCE WITH CORRECT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REQUIREMENTS.
- INCLUDE MISC. ITEMS PER CROWN CASTLE SPECIFICATIONS.

GENERAL NOTES FOR EXISTING CELL SITES

- PRIOR TO THE ESTABLISHMENT OF BBS, THE BIDDING SUBCONTRACTOR SHALL VISIT THE CELL SITE TO FAMILIARIZE WITH THE EXISTING CONDITION AND TO CONFIRM THAT THE WORK CAN BE ACCOMPLISHED AS SHOWN ON THE CONSTRUCTION DRAWINGS. ANY DISCREPANCY FOUND SHALL BE BROUGHT TO THE ATTENTION OF CONTRACTOR.
- SUBCONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THE DRAWING MUST BE VERIFIED. SUBCONTRACTOR SHALL NOTIFY THE CONTRACTOR OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIALS OR PROCEEDING WITH CONSTRUCTION.
- THE EXISTING CELL SITE IS IN FULL COMMERCIAL OPERATION. ANY CONSTRUCTION WORK BY SUBCONTRACTOR SHALL NOT DISRUPT THE EXISTING NORMAL OPERATION. ANY WORK ON EXISTING EQUIPMENT MUST BE COORDINATED WITH CONTRACTOR. ALSO WORK SHOULD BE SCHEDULED FOR AN APPROPRIATE MAINTENANCE WINDOW USUALLY IN LOW TRAFFIC PERIODS AFTER MIDNIGHT.
- SINCE THE CELL SITE IS ACTIVE, ALL SAFETY PRECAUTIONS MUST BE TAKEN WHEN WORKING AROUND HIGH LEVELS OF ELECTROMAGNETIC RADIATION. EQUIPMENT SHOULD BE SHUTDOWN PRIOR TO PERFORMING ANY WORK THAT COULD EXPOSE THE WORKERS TO DANGER. PERSONAL RF PROSURE MONITORS ARE ADVISED TO BE WORK TO ALERT OF ANY DANGEROUS EXPOSURE LEVELS.
- SUBCONTRACTOR SHALL DETERMINE ACTUAL ROUTING OF CONDUIT, POWER AND TI CABLES. GROUNDING CABLES AS SHOWN ON THE POWER, GROUNDING AND TELCO PLAN DRAWING. SUBCONTRACTOR SHALL UTILIZE EXISTING TRAYS AND/OR SHALL ADD NEW TRAYS AS NECESSARY. SUBCONTRACTOR SHALL CONFIRM THE ACTUAL ROUTING WITH THE CONTRACTOR.
- SUBCONTRACTOR SHALL LEGALLY AND PROPERLY DISPOSE OF ALL SCRAP MATERIALS SUCH AS COAXIAL CABLES AND OTHER ITEMS REMOVED FROM THE EXISTING FACILITY. ANTENNAS REMOVED SHALL BE RETURNED TO THE OWNERS DESIGNATED LOCATION.

APPLICABLE CODES, REGULATIONS AND STANDARDS

SUBCONTRACTORS WORK SHALL COMPLY WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES AS ADOPTED BY THE LOCAL AUTHORITY HAVING JURISDICTION (AHL) FOR THE LOCATION.

THE EDITION OF THE AHL ADOPTED CODES AND STANDARDS IN EFFECT ON THE DATE OF CONTRACT AWARD SHALL GOVERN THE DESIGN.

SUBCONTRACTORS WORK SHALL COMPLY WITH THE LATEST EDITION OF THE FOLLOWING STANDARDS:

- AMERICAN CONCRETE INSTITUTE (ACI) 318, BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE.
- AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC), MANUAL OF STEEL CONSTRUCTION, ASD, NINTH EDITION.
- TELECOMMUNICATIONS INDUSTRY ASSOCIATION (TIA) 222-F, STRUCTURAL STANDARD FOR STRUCTURAL ANTENNA TOWER AND ANTENNA SUPPORTING STRUCTURES.
- INSTITUTE FOR ELECTRICAL AND ELECTRONICS ENGINEER (IEEE) B1, GUIDE FOR MEASURING EARTH RESISTIVITY, GROUND IMPEDANCE, AND EARTH SURFACE POTENTIALS OF A GROUND SYSTEM (IEEE 1100) (1999) RECOMMENDED PRACTICE FOR POWERING AND GROUNDING OF ELECTRICAL EQUIPMENT RECOMMENDED PRACTICES ON SURGE VOLTAGES IN LOW VOLTAGE AC POWER CIRCUITS (FOR LOCATION CATEGORY 'C' AND 'HIGH SYSTEM EXPOSURE')

TIA 607 COMMERCIAL BUILDING GROUNDING AND BONDING REQUIREMENTS FOR TELECOMMUNICATIONS TELECORDIA GR-63 NETWORK EQUIPMENT BUILDING SYSTEM (NEBS): PHYSICAL PROTECTION
TELECORDIA GR-347 CENTRAL OFFICE POWER WIRING
TELECORDIA GR-123 GENERAL INSTALLATION REQUIREMENTS
TELECORDIA GR-153 COAXIAL CABLE CONNECTIONS
ANY AND ALL OTHER LOCAL & STATE LAWS AND REGULATIONS
FOR ANY CONFLICTS BETWEEN SECTIONS OF LISTED CODES AND STANDARDS REGARDING MATERIAL, METHODS OF CONSTRUCTION, OR OTHER REQUIREMENTS, THE MOST RESTRICTIVE SHALL GOVERN, WHERE THERE IS CONFLICT BETWEEN A GENERAL REQUIREMENT AND A SPECIFIC REQUIREMENT, THE SPECIFIC REQUIREMENT SHALL GOVERN.

GENERAL TRENCHING NOTES

- MAINTAIN 4" MINIMUM COVER FOR ALL ELECTRICAL CONDUITS.
- MAINTAIN 3" MINIMUM COVER FOR ALL TELECOMMUNICATIONS CONDUITS.
- MINIMUM 1" SAND SHADING BELOW CONDUITS, AND 6" COVERING ON TOP OF CONDUITS REQUIRED.
- ALL ELECTRICAL CONDUITS FROM POWER COMPANY FROM ANY POLE TRANSFORMER OR OTHER LOCATIONS WILL BE SLURRY BACKFILLED.
- IN SLOPE SLURRY TO GRADE AND MIN. DOWN 1-1/2" FOR AC CAP.
- IN SLOPE SLURRY 18" FROM GRADE AND 11/2" CONSTRUCTION NAME TAG FOR BALANCE.
- WARNING TAPE TO BE PLACED IN TRENCH 12" ABOVE ALL CONDUITS AND #18 WARNING TAPE ABOVE RING.

GENERAL GROUNDING NOTES

- 5/8" x 8" ROD, CAD WELD BELOW GRADE.
- GROUND TESTED AT 5 OHMS OR LESS.
- #5 GROUND AND BOND WIRE.
- GROUNDING FROM POLE.
- PLACE #10 DA WIRE FROM TESCO BREAKER TO RAMP OR STRONG BOX.
- WOOD HOULDRING, STAY LED BERRY 3" AND AT EACH END.

GENERAL CONDUIT NOTES

- ALL CONDUITS WILL BE MANDRETTED AND EQUIPPED WITH 3/8" PULL ROPE.
- SCHEDULE 40 CONDUIT FOR UNDERGROUND USE.
- SCHEDULE 40 CONDUIT UNDER SLURRY BACKFILL CONDUIT UNDER 3" STUB UP 10" THEN CONVERT TO SCHEDULE 80.
- CONVERT 4" CONDUIT TO 3" AT BASE OF POLE.
- CONTRACTOR TO STUB UP POLE 10' W/ 3" POWER CONDUIT. POWER COMPANY TO CONVERT FROM 3" STUB SCHEDULE 80 TO 2" SCHEDULE 80 FROM TOP OF STUB UP.

TYPICAL R.O.W POLE CONSTRUCTION NOTES

- CABLE NOT THERE, 15" CLEAR SPACE OFF POLE FACE.
- ALL CABLES TO BE SECURED TO CONDUIT WITH THE BUNDLED STEPS.
- NO BOLT THREADS TO PROTRUDE MORE THAN 1-1/2"
- ALL HOLES IN POLE LEFT FROM RE-ARRANGEMENT OF CLIMBERS TO BE FILLED.
- 90° SHORT SWEEPS UNDER ANTENNA ARM, ALL CABLES MUST TRANSITION ON THE INSIDE OR BOTTOM OF THE ARM (NO CABLE ON TOP OF ARM).
- USE 90° CONNECTOR AT CABLE CONNECTION FOR OWN ANTENNAS.
- USE CABLE CLAMPS TO SECURE CABLE TO ARMS. PLACE 2" CROWN CASTLE CABLE ID. TAGS ON BOTH SIDES OF CABLE.
- USE #12 DA CABLE ON ANTENNAS UNLESS OTHERWISE SPECIFIED.
- PLACE GRS ON ARM OF SOUTHERS SIX EXPOSED AT MINIMUM 6" FROM TRANSMIT ANTENNA WHICH IS 24" AWAY FROM CENTER OF POLE.
- FILL VOID AROUND CABLES AT CONDUIT OPENING WITH FOAM SEALANT TO PREVENT WATER INTRUSION.



PROJECT INFORMATION:

8311105
FIVE POINTS
16628 S. ELM AVENUE
CARLUTHERS, CA 93909

CURRENT ISSUE DATE:

08/28/19

ISSUED FOR:

100% CONSTRUCTION DRAWINGS

REV.: DATE: DESCRIPTION: BY:

REV.	DATE	DESCRIPTION	BY
A	2/13/19	100% CONSTRUCTION DRAWING	MS
B	3/15/19	100% CONSTRUCTION DRAWING	MS
C	6/12/19	100% CONSTRUCTION DRAWING	MS
D	6/24/19	100% CONSTRUCTION DRAWING	MS
1	8/28/19	100% CONSTRUCTION DRAWING	MS

PROJECT ARCHITECT/ENGINEER:



CONSULTANT:



DRAWN BY: _____ CHK.: _____ APV.: _____

SJS MIF MIF

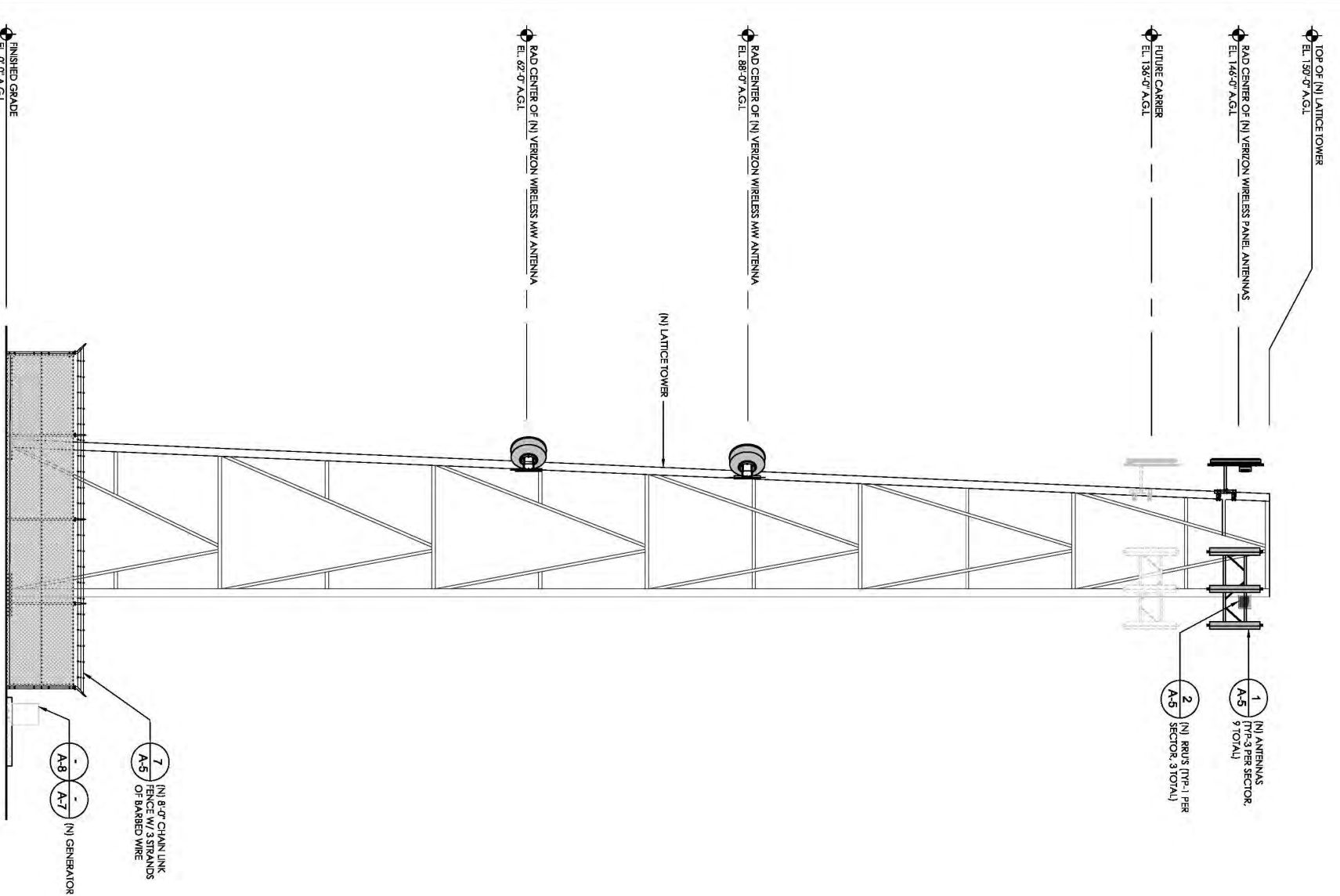
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GENERAL NOTES

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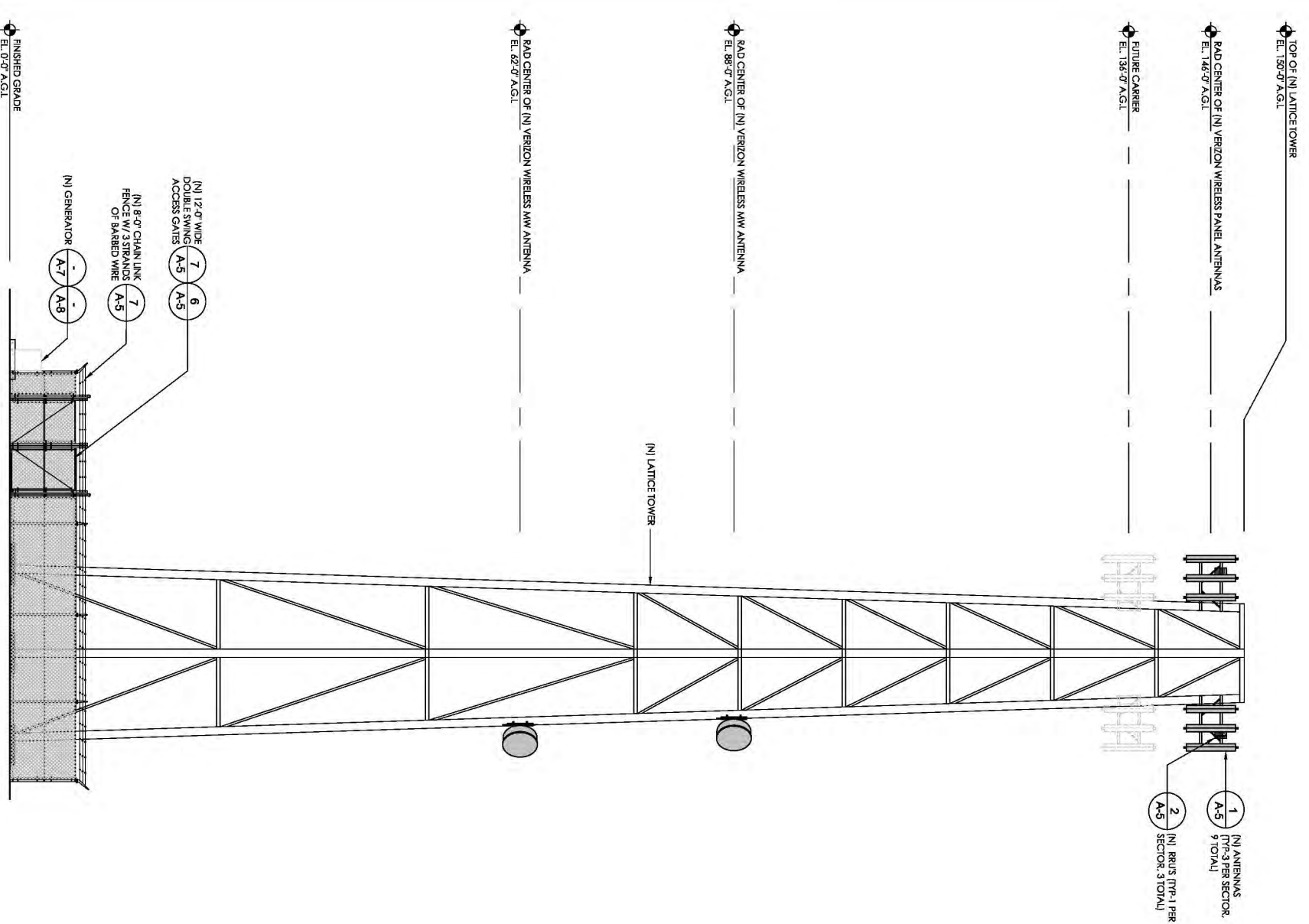
T-2



SOUTH ELEVATION

0 2' 4" 8" SCALE: 1/8" = 1'-0" (24x36)
 (OR) 1/8" = 1'-0" (11x17)

1



EAST ELEVATION

0 2' 4" 8" SCALE: 1/8" = 1'-0" (24x36)
 (OR) 1/8" = 1'-0" (11x17)

2



PROJECT INFORMATION:
8311105
FIVE POINTS
 16629 S. ELM AVENUE
 CARLUTHERS, CA 93609

CURRENT ISSUE DATE:
08/28/19

ISSUED FOR:
100% CONSTRUCTION DRAWINGS

REV.	DATE	DESCRIPTION	BY
A	2/13/19	100% CONSTRUCTION DRAWING	SS
B	3/15/19	90% CONSTRUCTION DRAWING	SS
C	6/12/19	95% CONSTRUCTION DRAWING	SS
D	6/24/19	100% CONSTRUCTION DRAWING	SS
1	8/28/19	100% CONSTRUCTION DRAWING	SS

PROJECT ARCHITECT/ENGINEER:

WSD
 Engineering, Inc.
 DBA: WSD Construction Inc.
 2155 LAS POSITAS COURT, SUITE 100
 LIVERMORE, CA 94551

CONSULTANT:

BEACON DEVELOPMENT, LLC
 3 ROYAL LANE
 PETALUMA, CA 94952

DRAWN BY: SJS
 CHK.: MIF
 APV.: MIF

LICENSER:



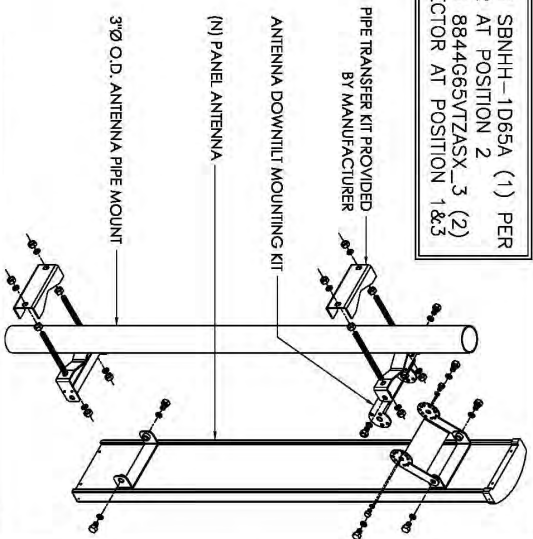
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ELEVATIONS

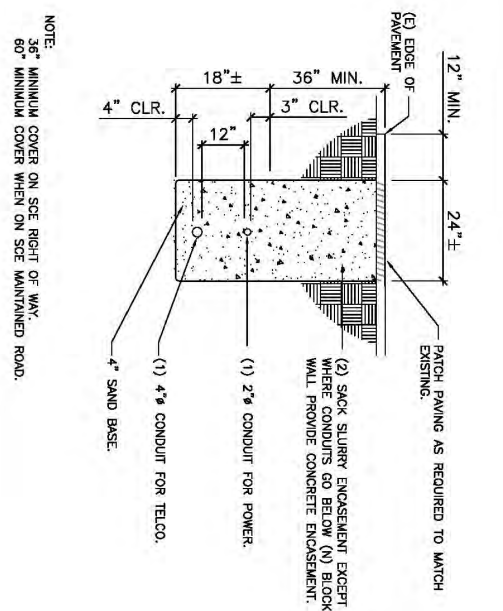
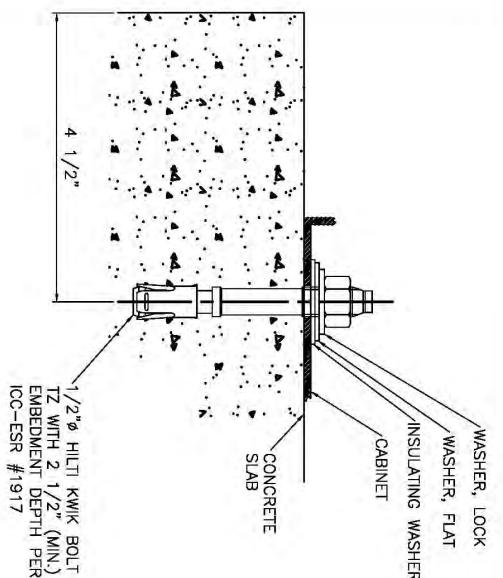
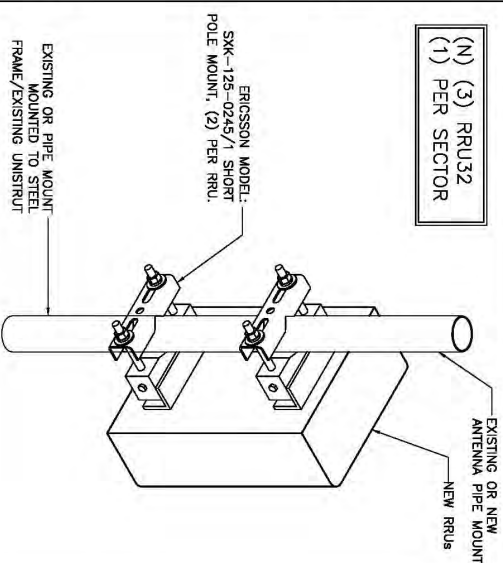
SHEET NUMBER:

A-4

(N) (3) SRNHH-1D65A (1) PER SECTOR AT POSITION 2
(N) (6) 8844655VTZSK-3 (2) PER SECTOR AT POSITION 1&3



(N) (3) RRU32 (1) PER SECTOR



ANTENNA MOUNTING DETAIL

1 RRU MOUNTING DETAIL

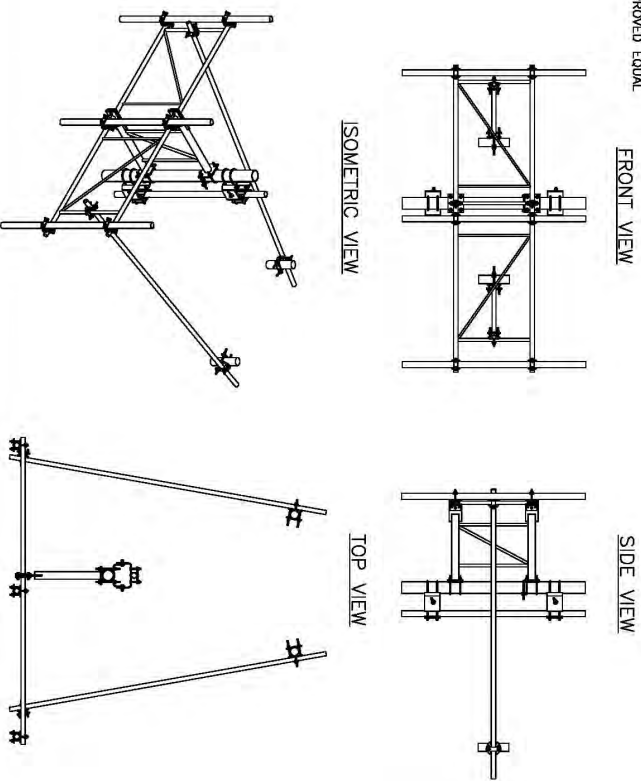
2 CABINET ANCHORAGE DETAIL

3 UNDERGROUND TRENCH DETAIL

4

10' LIGHTWEIGHT T-FRAME

PART # LTF10-3X
BY VALMONT OR
APPROVED EQUAL



ANTENNA SUPPORT FRAME

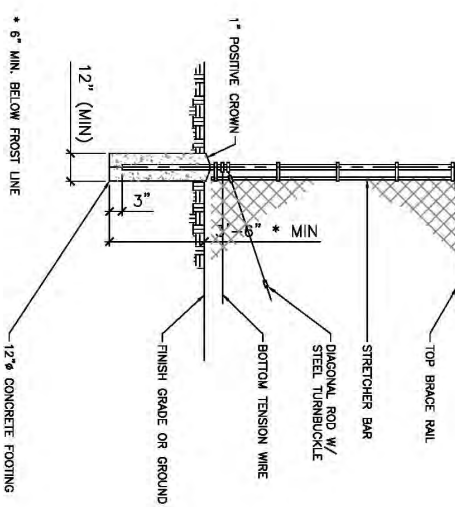
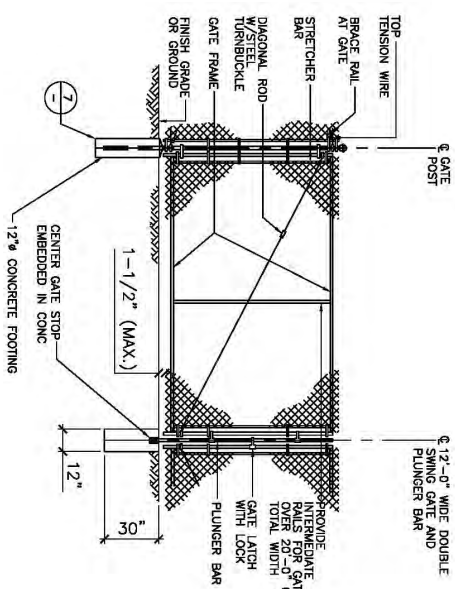
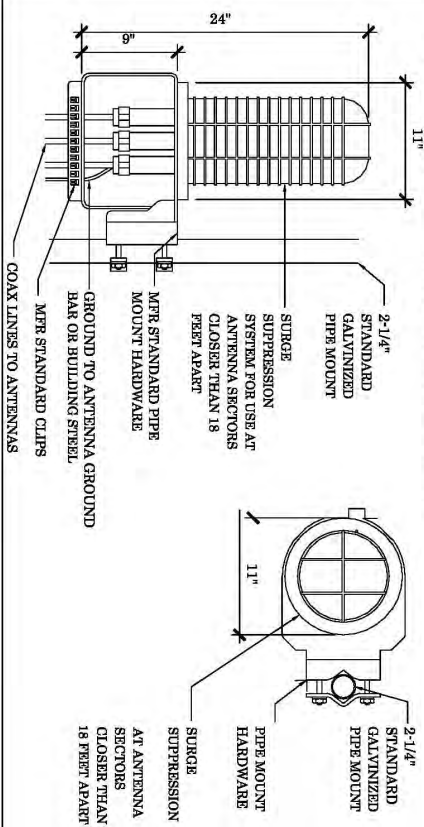
5 DOUBLE SWING ACCESS GATE DETAIL

6 FENCE POST DETAIL

7

RAYCAP DC6-48-60-18-8F & DC6-48-60-0-8F SURGE SUPPRESSION SOLUTION

COLOR: BLACK/SILVER
DIMENSIONS: 11" DIA X 24" TALL W/ 9" BASE
WEIGHT: 32 LBS. (INCLUDING MOUNTING HARDWARE)



DC6-48-60-18 SURGE SUPPRESSOR

8



PROJECT INFORMATION:
8311105
FIVE POINTS
16629 S. ELM AVENUE
CARLUTHERS, CA 93909

CURRENT ISSUE DATE:
08/28/19

ISSUED FOR:
100% CONSTRUCTION DRAWINGS

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B	3/15/19	90% CONSTRUCTION DRAWING	
C	6/12/19	95% CONSTRUCTION DRAWING	
D	6/24/19	100% CONSTRUCTION DRAWING	
1	8/28/19	100% CONSTRUCTION DRAWING	

PROJECT ARCHITECT/ENGINEER:
WSD
Engineering, Inc.
2155 LAS POSITAS COURT, SUITE M
LIVERMORE, CA 94551

CONSULTANT:
BEACON DEVELOPMENT, LLC
3 ROYAL LANE
PETALUMA, CA 94952

DRAWN BY: SJS
CHK. BY: MIF
APV. BY: MIF



SHEET TITLE:
DETAILS

SHEET NUMBER:

A-5

REV.	DATE	DESCRIPTION	BY
A	2/13/19	100% CONSTRUCTION DRAWING	SS
B	3/15/19	90% CONSTRUCTION DRAWING	SS
C	6/12/19	95% CONSTRUCTION DRAWING	SS
D	6/24/19	100% CONSTRUCTION DRAWING	SS
1	8/28/19	100% CONSTRUCTION DRAWING	SS

PROJECT ARCHITECT/ENGINEER:
WSD
Engineering, Inc.
1155 LAS POSITAS COURT, SUITE 104
LIVERMORE, CA 94551

CONSULTANT:
BEACON DEVELOPMENT, LLC
3 BOVINA LANE
Petaluma, CA 94952

DRAWN BY: **CHK: APV, SJS**
SJS MIF MIF
LICENSER:

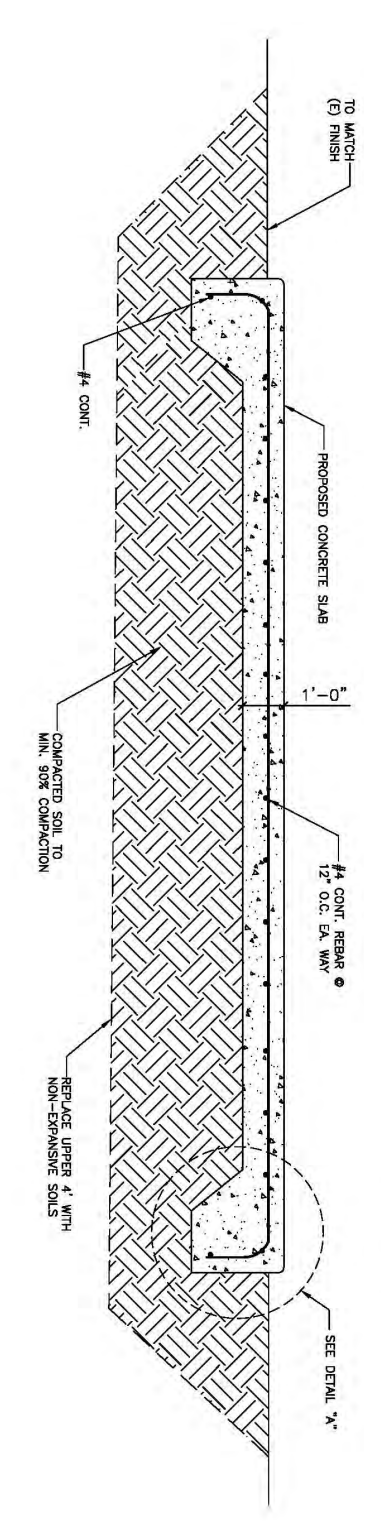
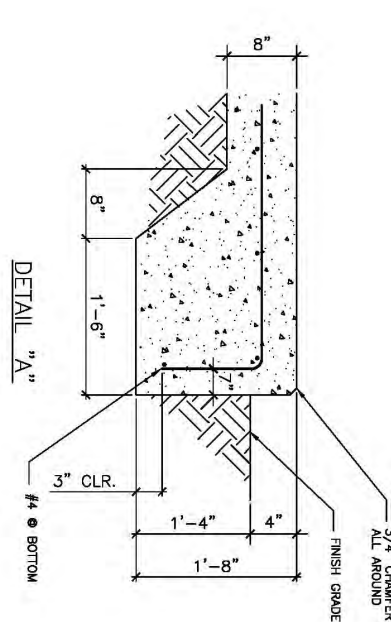


SHEET TITLE:
DETAILS
SHEET NUMBER:

A-6

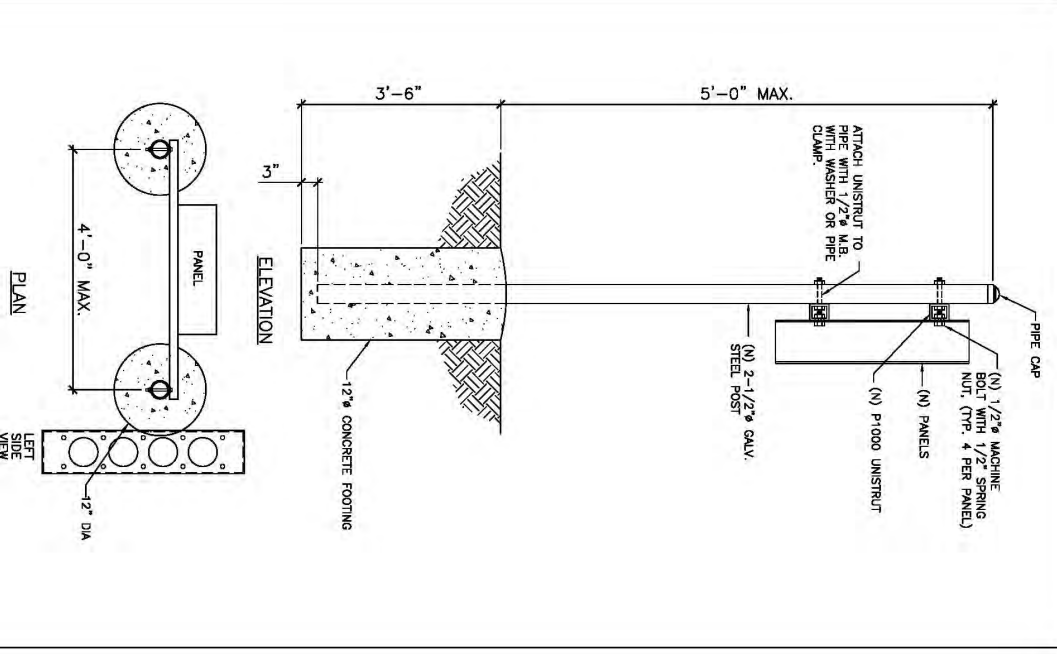
ADDITIONAL NOTES:

- CONTRACTOR TO PROVIDE SLAB SLOPE OF 1/4" PER FOOT FOR DRAINAGE RUN OFF, WHILE MAINTAINING MINIMUM SLAB THICKNESS OF 6" SLOPE TOWARDS OUTSIDE EDGE OF SLAB.
- FINAL SITE DESIGN IS THE RESPONSIBILITY OF THE CLIENT AND CONTRACTOR.
- VERIFY (E) SOIL COMPACTION, PROVIDE NON-ORGANIC FILL AS REQUIRED TO BRING SITE UP TO 90% COMPACTION.



STANDARD CONCRETE NOTES:

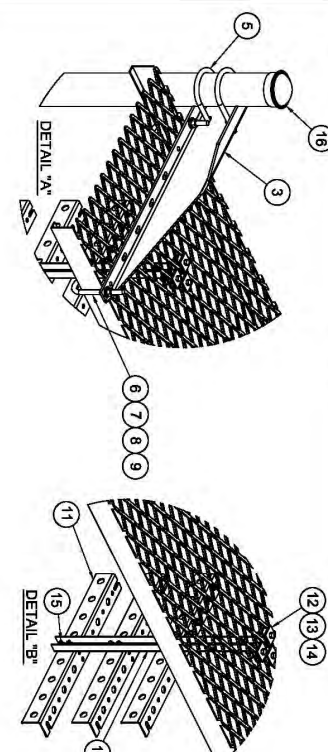
- ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE ACI 301-89, ACI 318-95 AND THE SPECIFICATIONS FOR CAST-IN-PLACE CONCRETE.
- ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2,500 PSI AT 28 DAYS UNLESS NOTED OTHERWISE.
- REINFORCING STEEL SHALL CONFORM TO ASTM A 615, GRADE 60, DEFORMED UNLESS NOTED OTHERWISE. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A 185 WELDED STEEL UNLESS OTHERWISE NOTED OTHERWISE. SPLICES CLASS "B" AND ALL HOOKS SHALL BE STANDARD UNLESS NOTED OTHERWISE.
- THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCING STEEL UNLESS SHOWN OTHERWISE ON DRAWINGS:
CONCRETE CAST AGAINST EARTH..... 3 IN.
CONCRETE EXPOSED TO EARTH OR WEATHER..... 2 IN.
#6 AND LARGER..... 1-1/2 IN.
#5 AND SMALLER & WWF..... 1-1/2 IN.
CONCRETE NOT EXPOSED TO EARTH OR WEATHER OR NOT CAST AGAINST THE GROUND: SLAB AND WALL..... 3/4 IN.
BEAMS AND COLUMNS..... 1-1/2 IN.
- A CHAMFER 3/4" SHALL BE PROVIDED AT ALL EXPOSED EDGES OF CONCRETE UNLESS IN ACCORDANCE WITH ACI 301 SECTION 4.2.4.
- HOLES TO RECEIVE EXPANSION/WEDGE ANCHORS SHALL BE 1/8" LARGER IN DIAMETER THAN THE ANCHOR TO BE INSTALLED OR HOLE TO RECEIVE CONCRETE DEVELOPMENT LENGTHS SHALL BE 12" LONGER THAN THE ANCHOR TO BE INSTALLED UNLESS OTHERWISE NOTED OTHERWISE.
- AND AVOID CUTTING EXISTING REBAR WHEN DRILLING HOLES IN ELEVATED CONCRETE SLABS.
- USE AND INSTALLATION OF CONCRETE EXPANSION/WEDGE ANCHOR, SHALL BE PER IC90 & MANUFACTURER'S WRITTEN RECOMMENDED PROCEDURES.



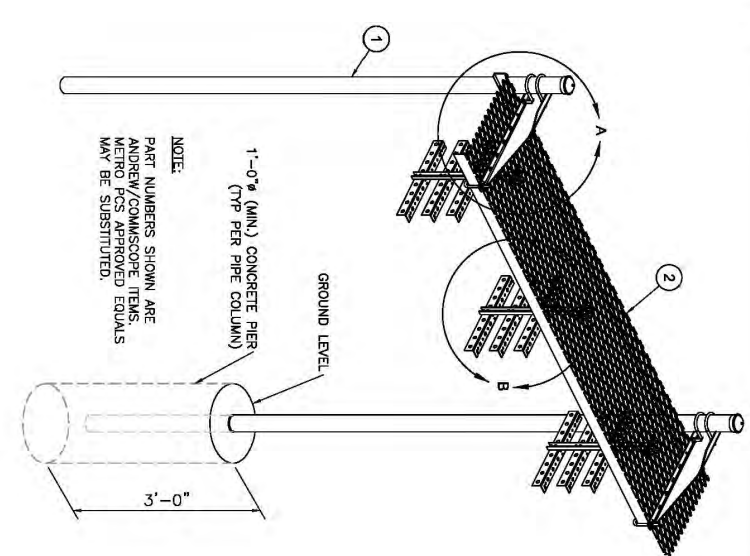
H-FRAME DETAIL

PARTS LIST-ANDREW/COMBSCOPE

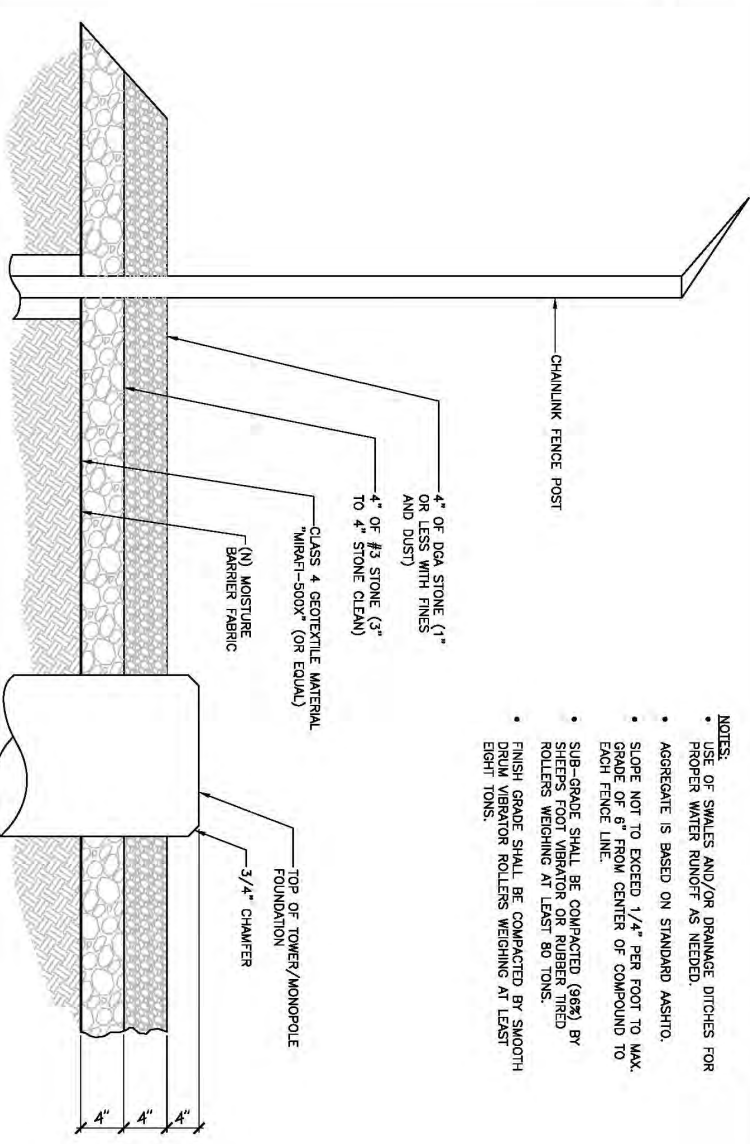
ITEM	PART NO.	DESCRIPTION	QTY.	WEIGHT
1	MF-130	DIRECT BURIAL PIPE COLUMN, 13'-4"	2	100.91 LBS
2	WB-CY210	SAFETY GRATING 24" X 10" X 12 GAUGE	1	80.01 LBS
3	WB-BZ43.06	24" WAVEGUIDE BRIDGE SUPPORT BRACKET	2	12.72 LBS
4	WB-R210BH	HARDWARE KIT ITEM#5-18	1	0.83 LBS
5	GUB-4356	1/2" X 3-5/8" X 6" GALV U-BOLT KIT	4	0.83 LBS
6	WB-JB-6	1/2" J-BOLT	4	0.49 LBS
7	GWF-04	1/2" GALV FLAT WASHER	4	0.04 LBS
8	GN-04	1/2" GALV LOCK WASHER	4	0.14 LBS
9	GN-04	1/2" GALV HEX NUT	4	0.14 LBS
10	WB1243.01	VERTICAL TRAPEZIE SECTION	3	2.55 LBS
11	WB1243.02	HORIZONTAL TRAPEZIE SECTION	9	2.80 LBS
12	MT-387	SQUARE WASHER, 1 1/2" X 1 1/2" W/ 7/16" HOLE	18	0.11 LBS
13	GB-03205	3/8" X 2" GALV BOLT KIT	9	0.08 LBS
14	GWF-03	3/8" GALV FLAT WASHER	9	0.04 LBS
15	GB-03105	3/8" X 1" GALV BOLT KIT	18	0.08 LBS
16	PC-034	PIPE CAP 3-1/2"	2	0.94 LBS



ICE BRIDGE DETAIL



CONCRETE PAD DETAIL



COMPOUND GRAVEL COVER DETAIL



PROJECT INFORMATION:

8311105
FIVE POINTS
 16629 S. ELM AVENUE
 CARUTHERS, CA 93909

CURRENT ISSUE DATE:
08/28/19

ISSUED FOR:
100% CONSTRUCTION DRAWINGS

REV.	DATE	DESCRIPTION	BY
A	2/13/19	100% CONSTRUCTION DRAWING	SS
B	3/15/19	90% CONSTRUCTION DRAWING	SS
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1	8/28/19	100% CONSTRUCTION DRAWING	SS

PROJECT ARCHITECT/ENGINEER:

WSD
 Engineering, Inc.
 2155 LAS POSITAS COURT, SUITE 100
 LIVERMORE, CA 94551

CONSULTANT:

BEACON DEVELOPMENT, LLC
 3 ROYAL LANE
 PETAUMA, CA 94952

DRAWN BY: SJS MIF MIF
 CHECKED BY: APV

LICENSER:

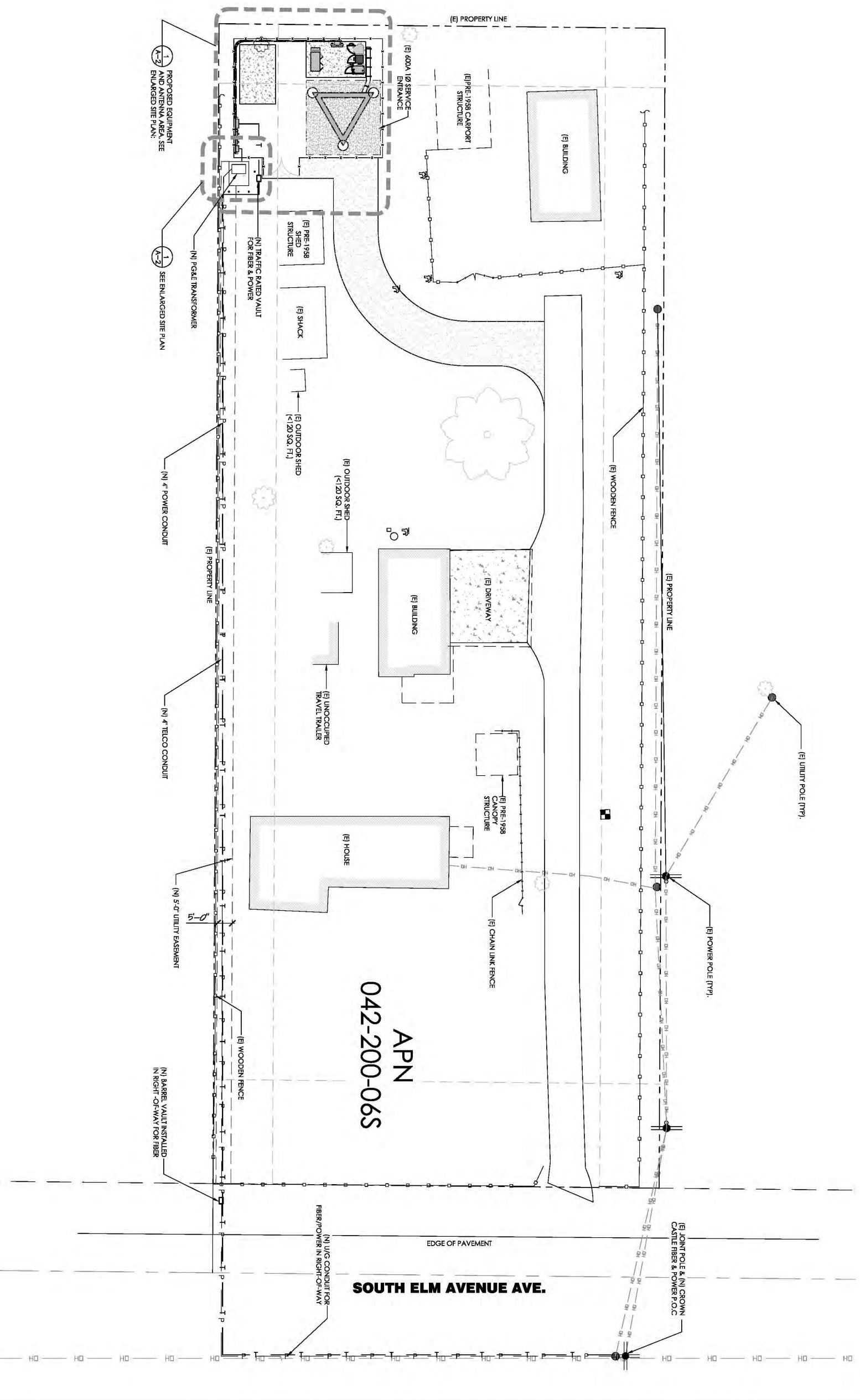


SHEET TITLE:

UTILITY SITE PLAN

SHEET NUMBER:

E-1



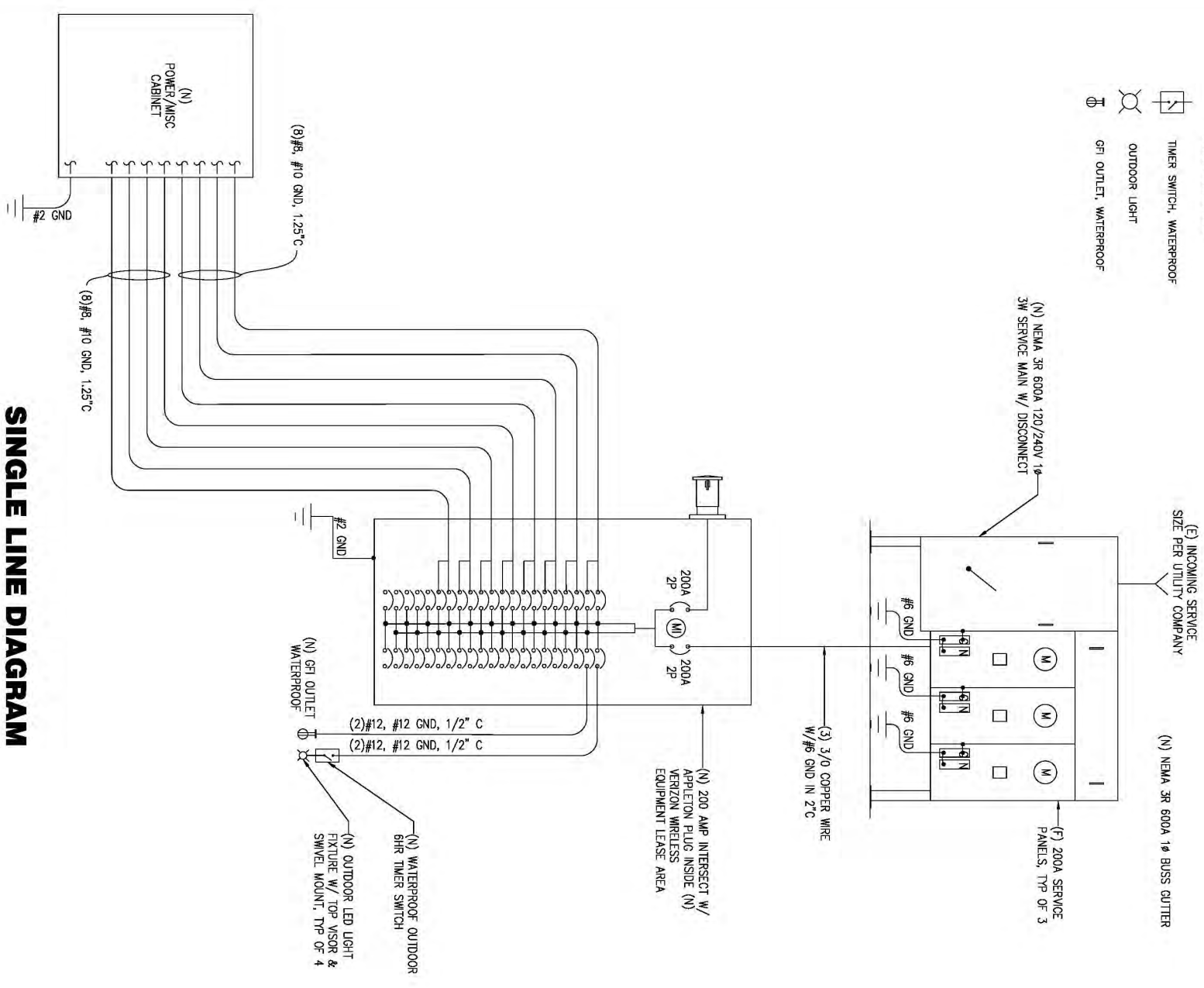
UTILITY SITE PLAN

40' 0 20' 40' SCALE: 1" = 40'-0" (24x36)
 (OR) 1/2" = 40'-0" (11x17)

1

ELECTRIC LEGEND

- MECHANICAL INTERLINK
- METER
- CIRCUIT BREAKER
- SERVICE GROUND
- WIRED CONNECTION
- TIMER SWITCH, WATERPROOF
- OUTDOOR LIGHT
- GFI OUTLET, WATERPROOF



SINGLE LINE DIAGRAM

SINGLE LINE DIAGRAM AND PANEL SCHEDULE

ELECTRIC NOTES

1. ALL ELECTRICAL WORK SHALL CONFORM TO THE NEC AS WELL AS ALL APPLICABLE STATE AND LOCAL CODES.
2. CONTRACTOR SHALL FINISH AND INSTALL ALL CONDUIT, CONDUCTORS, PUL BOXES, TRANSFORMER PADS, POLE RISERS, AND PERFORM ALL TRENCHING AND BACKFILLING REQUIRED IN THE PLANS.
3. ALL ELECTRICAL ITEMS SHALL BE UL APPROVED OR LISTED AND PROCURED PER PLAN SPECIFICATIONS.
4. ALL CIRCUIT BREAKERS, FUSES, AND ELECTRICAL EQUIPMENT SHALL HAVE AN INTERRUPTION RATING NOT LESS THAN THE MAXIMUM SHORT CIRCUIT CURRENT TO WHICH THEY MAY BE SUBJECTED WITH A MINIMUM OF 10,000 A.I.C OR AS REQUIRED.
5. THE ENTIRE ELECTRICAL INSTALLATION SHALL BE GROUNDED AS REQUIRED BY A APPLICABLE CODES.
6. ELECTRICAL WIRING SHALL BE COPPER #12 MIN WITH TYPE XHHW, THWN, OR THHN INSULATION.
7. ALL OUTDOOR EQUIPMENT SHALL HAVE NEMA 3R ENCLOSURE.
8. ALL BURIED WIRE SHALL RUN THROUGH SCHEDULE 40 PVC CONDUIT UNLESS OTHERWISE NOTED.
9. A GROUND WIRE IS TO BE PULLED IN ALL CONDUITS.
10. WHERE ELECTRICAL WIRING OCCURS OUTSIDE A STRUCTURE AND HAS THE POTENTIAL FOR EXPOSURE TO WEATHER, WIRING SHALL BE IN WATERIGHT GALVANIZED RIGID STEEL OR FLEXIBLE CONDUIT.

LOAD STUDY		
CARRIER	Ø	KVA
VERIZON	1	35 KVA
AT&T	1	31 KVA
CROWN CASTLE	1	19 KVA
TOTAL		85 KVA

120V/240V PANEL SCHEDULE

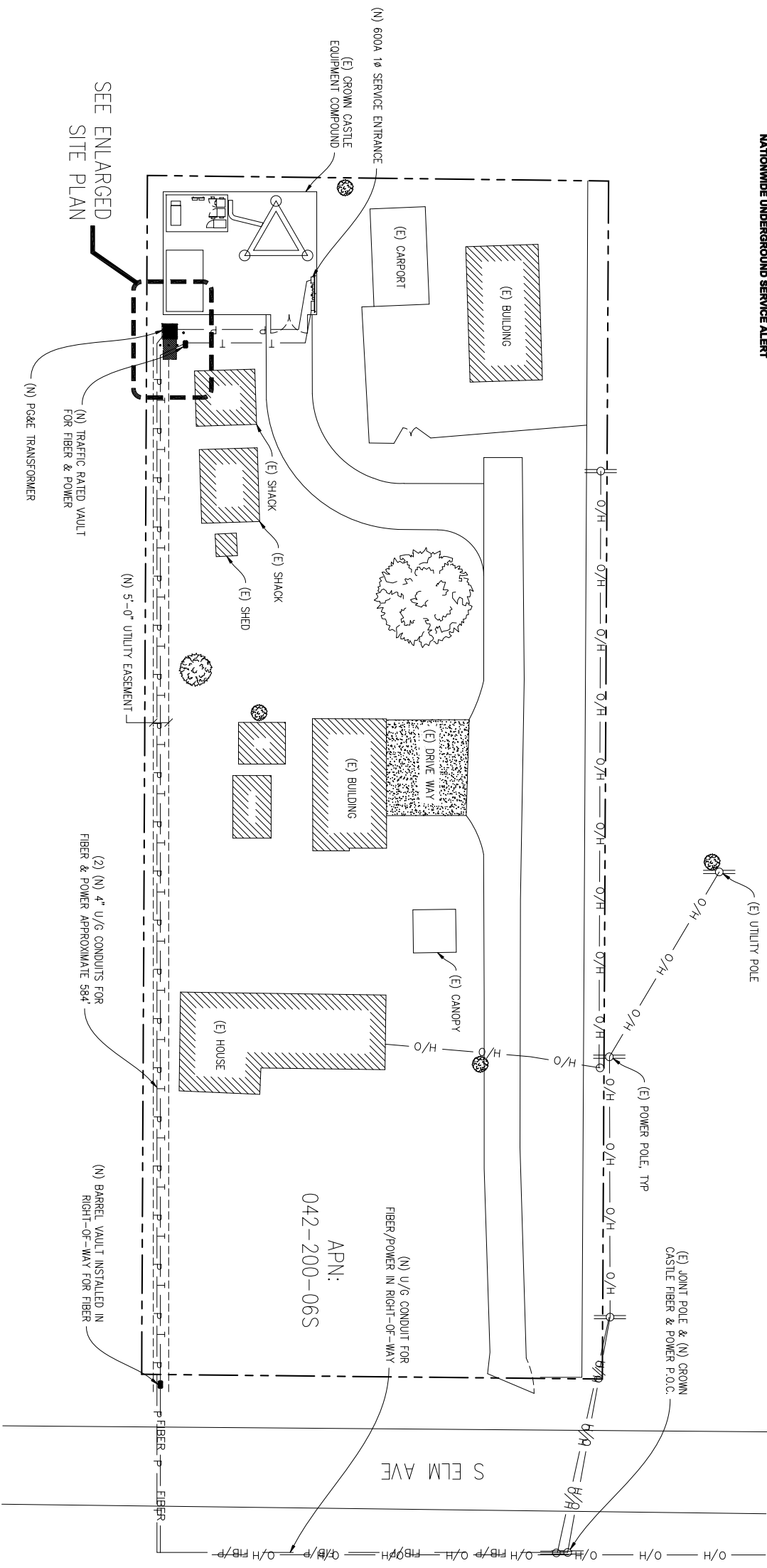
NAMEPLATE : PANEL A	SC LEVEL : 10,000	VOLTS: 120V/240V, 1Ø						
LOCATION : AT EQUIPMENT		BUS AMPS: 200A						
MOUNTING : CNU WALL		MAIN CB: 200A						
ØA	ØB	LOAD DESCRIPTION	BKR AMP/POLE	CIRCUIT NO	BKR AMP/POLE	LOAD DESCRIPTION	ØA LOAD VA	ØB LOAD VA
2292	2292	RECTIFIER 1	30/2	1	20/1	TECH LIGHT	300	180
2292	2292	RECTIFIER 2	30/2	3	4	GFI RECEPTACLE		
2292	2292	RECTIFIER 3	30/2	5	6	BLANK		
2292	2292	RECTIFIER 4	30/2	7	8			
2292	2292	RECTIFIER 5	30/2	9	10			
2292	2292	RECTIFIER 6	30/2	11	12			
2292	2292	RECTIFIER 7	30/2	13	14			
2292	2292	RECTIFIER 8	30/2	15	16			
2292	2292	RECTIFIER 9	30/2	17	18			
2292	2292	RECTIFIER 10	30/2	19	20			
2292	2292	RECTIFIER 11	30/2	21	22			
2292	2292	RECTIFIER 12	30/2	23	24			
2292	2292	RECTIFIER 13	30/2	25	26			
2292	2292	RECTIFIER 14	30/2	27	28			
2292	2292	RECTIFIER 15	30/2	29	30			
2292	2292	RECTIFIER 16	30/2	31	32			
2292	2292	RECTIFIER 17	30/2	33	34			
2292	2292	RECTIFIER 18	30/2	35	36			
2292	2292	RECTIFIER 19	30/2	37	38			
2292	2292	RECTIFIER 20	30/2	39	40			
2292	2292	RECTIFIER 21	30/2	41	42			
2292	2292	RECTIFIER 22	30/2	43	44			
2292	2292	RECTIFIER 23	30/2	45	46			
2292	2292	RECTIFIER 24	30/2	47	48			
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PROJECT GENERAL NOTES

1. THIS FACILITY IS AN UNOCCUPIED WIRELESS TELECOMMUNICATION FACILITY.
2. PLANS ARE NOT TO BE SCALED AND ARE INTENDED TO BE A DIAGRAMMATIC OUTLINE ONLY. UNLESS NOTED OTHERWISE.
3. THE SCOPE OF WORK SHALL INCLUDE FURNISHING MATERIALS, COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.
4. PRIOR TO THE SUBMISSION OF BIDS, THE CONTRACTORS SHALL VISIT THE JOB SITE AND BE RESPONSIBLE FOR ALL CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS, AND CONFIRM THAT THE WORK MAY BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE CONSTRUCTION MANAGER AND ENGINEER PRIOR TO PROCEEDING WITH THE WORK. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PAY FOR PERMIT FEES, AND TO OBTAIN SAID PERMITS AND TO COORDINATE INSPECTIONS.
6. THE CONTRACTOR SHALL RECEIVE, IN WRITING, AUTHORIZATION TO PROCEED BEFORE STARTING WORK ON ANY ITEM NOT CLEARLY DEFINED OR IDENTIFIED BY THE CONTRACT DOCUMENTS.
7. CALL BEFORE YOU DIG. CONTRACTOR IS REQUIRED TO CALL 811 (NATIONWIDE "CALL BEFORE YOU DIG" HOTLINE) AT LEAST 72 HOURS BEFORE DIGGING.
8. ALL WORK PERFORMED AND MATERIALS INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES. CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF THE WORK.
9. THE GENERAL CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING THE BEST SKILLS AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES. CONTRACTOR SHALL ALSO COORDINATE ALL PORTIONS OF THE WORK UNDER THE CONTRACT, INCLUDING CONTACT AND COORDINATION WITH THE CONSTRUCTION MANAGER AND WITH THE LANDLORD'S AUTHORIZED REPRESENTATIVE.
10. THE CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT EXISTING IMPROVEMENTS, PAVING, CURBS, GALVANIZED SURFACES, ETC., AND UPON COMPLETION OF WORK, REPAIR ANY DAMAGE THAT OCCURRED DURING CONSTRUCTION TO THE SATISFACTION OF THE PROJECT MANAGER.
11. KEEP GENERAL AREA CLEAN. HAZARD FREE. AND DISPOSE OF ALL DIRT, DEBRIS AND RUBBISH. REMOVE EQUIPMENT NOT SPECIFIED AS REMAINING ON THE PROPERTY. LEAVE PREMISES IN CLEAN CONDITION AND FREE FROM PAINT SPOTS, DUST, OR SMUDGES OF ANY NATURE.
12. ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED AND/OR CAPPED, PLUGGED, OR OTHERWISE DISCONNECTED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, AS DIRECTED BY THE RESPONSIBLE ENGINEER, AND SUBJECT TO THE APPROVAL OF THE OWNER AND/OR LOCAL UTILITIES.
13. ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC AND ALL OTHER UTILITIES WHERE ENCOUNTERED IN THE WORK SHALL BE PROTECTED AT ALL TIMES.
14. DETAILS ARE INTENDED TO SHOW END RESULT OF DESIGN. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS, AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE WORK.
15. THE CONTRACTOR SHALL PROVIDE A TOILET FACILITY DURING ALL PHASES OF CONSTRUCTION.
16. SUFFICIENT MONUMENTATION WAS NOT RECOVERED TO ESTABLISH THE POSITION OF THE BOUNDARY LINES SHOWN HEREON. THE BOUNDARY REPRESENTED ON THIS MAP IS BASED ON COMPILED RECORD DATA AND BEST FIT ONTO EXISTING IMPROVEMENTS. IT IS POSSIBLE FOR THE LOCATION OF THE SUBJECT PROPERTY TO SHIFT FROM THE PLACEMENT SHOWN HEREON WITH ADDITIONAL FIELD WORK AND RESEARCH. THEREFORE ANY SPATIAL REFERENCE MADE OR SHOWN BETWEEN THE RELATIONSHIP OF THE BOUNDARY LINES SHOWN HEREON AND EXISTING GROUND FEATURES, EASEMENTS OR LEASE AREA IS INTENDED TO BE APPROXIMATE AND IS SUBJECT TO VERIFICATION BY RESOLVING THE POSITION OF THE BOUNDARY LINES.
17. THE CONTRACTOR TO VERIFY THE LATEST/CURRENT RF DESIGN, WHERE APPLICABLE. CONTRACTOR SHALL PROVIDE SEPARATE PLANS, SPECIFICATIONS, FEES AND PERMITS FOR ANY REVISION TO ANY FIRE SPRINKLER AND/OR ALARM SYSTEM ON THE PREMISES AS MAY BE NEEDED TO COMPLETE THE WORK DEPICTED HEREIN, USING A C-10 LICENSED SUBCONTRACTOR FOR ALL SUCH WORK.

TRENCHING NOTES

1. CALL BEFORE YOU DIG. CONTRACTOR IS REQUIRED TO CALL 811 (NATIONWIDE "CALL BEFORE YOU DIG" HOTLINE) AT LEAST 72 HOURS BEFORE DIGGING.
2. VERIFY ALL TRENCHING REQUIREMENTS WITH SERVING UTILITIES.
3. RESTORE GRADE TO ORIGINAL CONDITION OR BETTER.
4. RETURN FILL TO 95% OF MAXIMUM DENSITY IN ACCORDANCE WITH ASTM STANDARDS.
5. RESTORE CUT CONCRETE OR ASPHALT TO ORIGINAL CONDITION OR BETTER.



SEE ENLARGED SITE PLAN

SITE PLAN
1"=20'-0"



FIVE POINTS

814686
16639 S ELM AVE
CAROTHERS, CA 95609

ISSUE STATUS

Δ	DATE	DESCRIPTION	BY
	05/28/19	CD 90%	D.G.
	-	-	-
	-	-	-
	-	-	-
	-	-	-

DRAWN BY: D. GARCIA
CHECKED BY: S. SAVIG
APPROVED BY: -
DATE: 05/28/19

Streamline Engineering and Design, Inc.

8445 Sierra College Blvd, Suite E Granite Bay, CA 95746
Contact: Kevin Sorensen Phone: 916-660-1930
E-Mail: kevin@streamlineeng.com Fax: 916-660-1941

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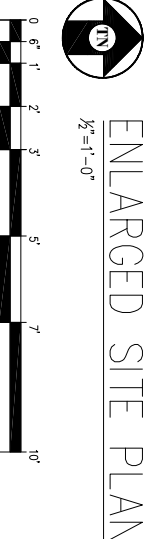
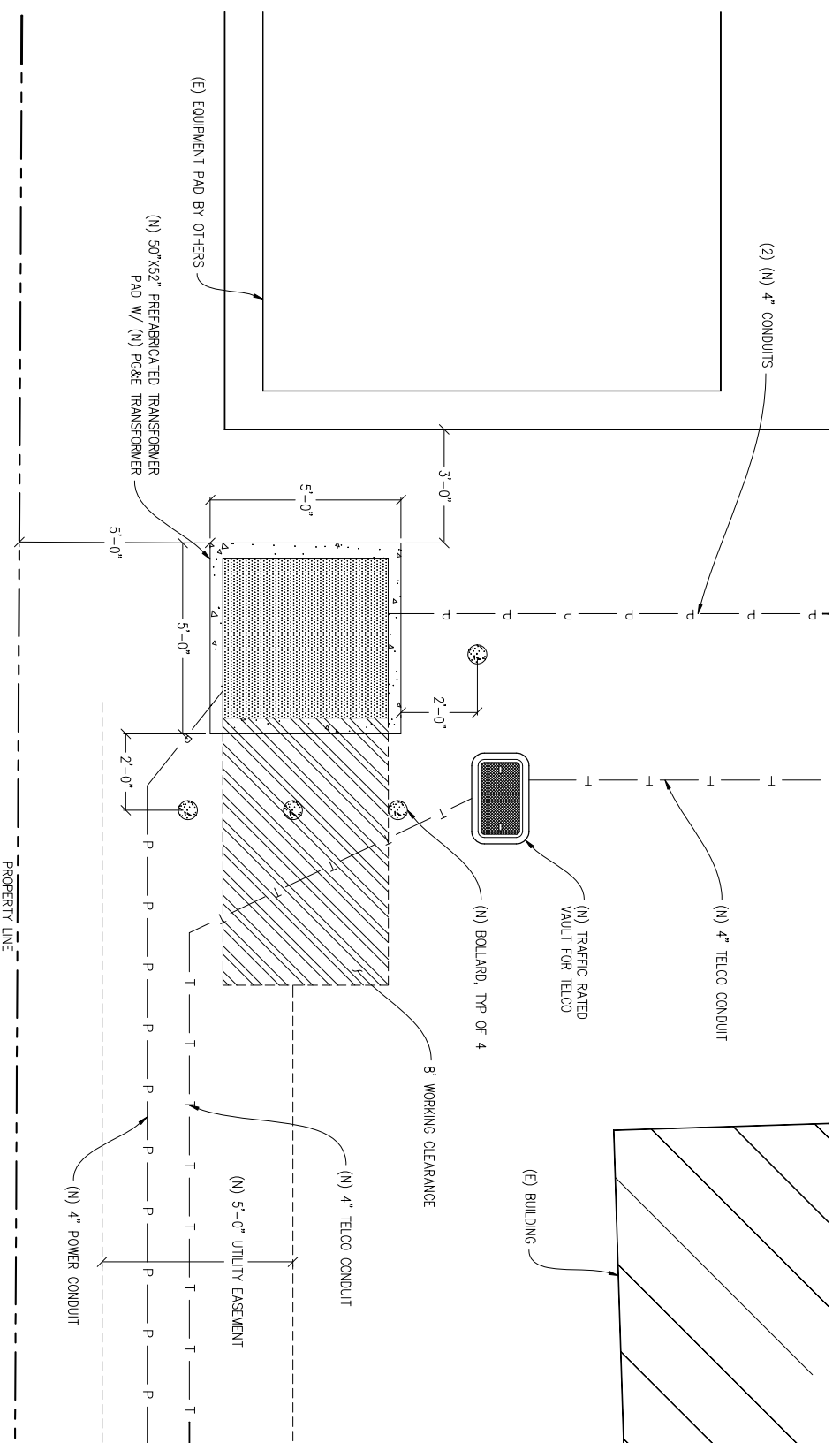
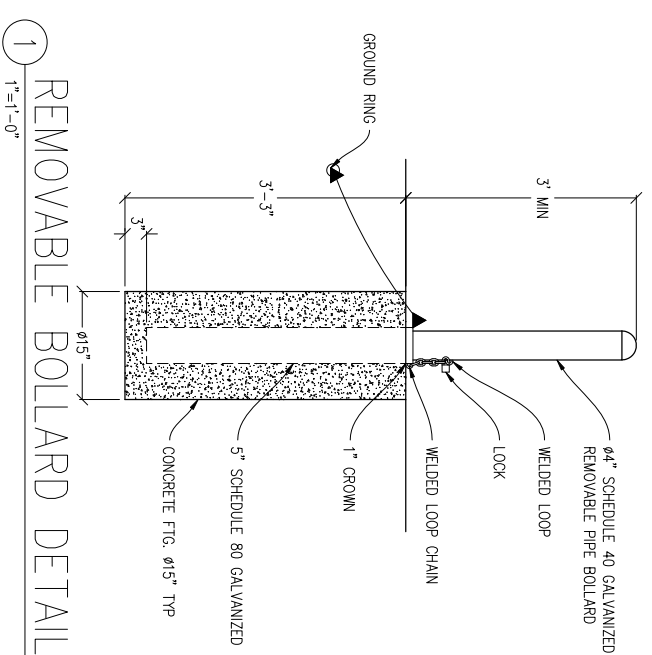
PRELIMINARY:
NOT FOR
CONSTRUCTION
KEVIN R. SORENSEN
54469

CROWN CASTLE

4301 HACIENDA DR, SUITE 410
PLEASANTON, CA 94588

SHEET TITLE:
SITE PLAN
SHEET NUMBER:
A-1

At all services & grounding trenches, provide "WARNING" tape at 12" below grade.
CALL
 811
 "CALL BEFORE YOU DIG"
 NATIONWIDE UNDERGROUND SERVICE ALERT



FIVE POINTS

814686
 16639 S. ELMA AVE.
 CARUTHERS, CA 95609

ISSUE STATUS

Δ	DATE	DESCRIPTION	BY
	05/28/19	CD 90%	D.G.
	-	-	-
	-	-	-
	-	-	-
	-	-	-

DRAWN BY: D. GARCIA

CHECKED BY: S. SAVIG

APPROVED BY: -

DATE: 05/28/19



8445 Sierra College Blvd, Suite E Granite Bay, CA 95746
 Contact: Kevin Sorensen Phone: 916-660-1930
 E-Mail: kevin@streamlineeng.com Fax: 916-660-1941

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PRELIMINARY:
 NOT FOR
 CONSTRUCTION
 KEVIN R. SORENSEN
 S4469



4301 HACIENDA DR, SUITE 410
 PLEASANTON, CA 94588

SHEET TITLE:

ENLARGED SITE PLAN

SHEET NUMBER:

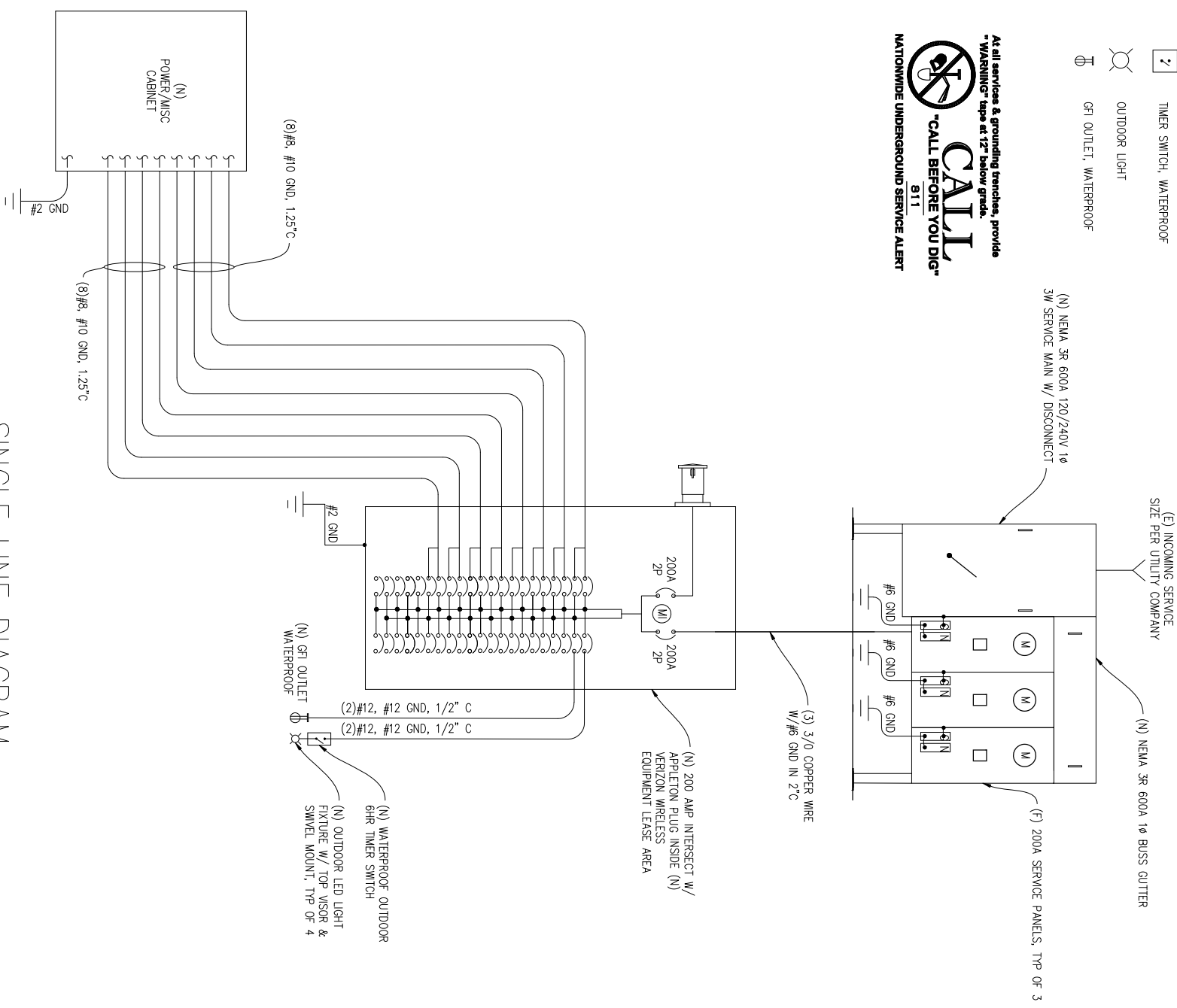
A-2

ELECTRIC LEGEND

- (M) METER
- CIRCUIT BREAKER
- ⊥ SERVICE GROUND
- WIRE CONNECTION
- ⊠ TIMER SWITCH, WATERPROOF
- ⊙ OUTDOOR LIGHT
- ⊕ GFI OUTLET, WATERPROOF

CALL BEFORE YOU DIG
911
NATIONWIDE UNDERGROUND SERVICE ALERT

At all services & grounding trenches, provide "WARNING" tape at 12" below grade.



SINGLE LINE DIAGRAM

ELECTRICAL NOTES

1. ALL ELECTRICAL WORK SHALL CONFORM TO THE 2016 CEC AS WELL AS ALL ADOPTED STANDARDS, APPLICABLE STATE AND LOCAL CODES.
2. CONTRACTOR SHALL FINISH AND INSTALL ALL CONDUIT, CONDUCTORS, PULL BOXES, TRANSFORMER PADS, POLE RISERS, AND PERFORM ALL TRENCHING AND BACKFILLING REQUIRED IN THE PLANS.
3. ALL ELECTRICAL ITEMS SHALL BE U.L. APPROVED OR LISTED AND PROCURED PER PLAN SPECIFICATIONS.
4. ALL CIRCUIT BREAKERS, FUSES, AND ELECTRICAL EQUIPMENT SHALL HAVE AN INTERRUPTION RATING NOT LESS THAN THE MAXIMUM SHORT CIRCUIT CURRENT TO WHICH THEY MAY BE SUBJECTED WITH A MINIMUM OF 10,000 A.I.C. OR AS REQUIRED. THE ENTIRE ELECTRICAL INSTALLATION SHALL BE GROUNDED AS REQUIRED BY ALL APPLICABLE CODES.
5. ELECTRICAL WIRING SHALL BE COPPER #12 AWG MIN WITH TYPE THHN, THWN-2 OR THW-2. INSULATION RATED FOR 90°C DRY OR 70°C WET.
7. ALL OUTDOOR EQUIPMENT SHALL HAVE NEMA 3R ENCLOSURE.
8. ALL BURIED WIRE SHALL RUN THROUGH SCHEDULE 40 PVC CONDUIT UNLESS OTHERWISE NOTED.
9. A GROUND WIRE IS TO BE PULLED IN ALL CONDUITS.
10. WHERE ELECTRICAL WEATHER OCCURS OUTSIDE A STRUCTURE AND HAS THE POTENTIAL FOR EXPOSURE TO WEATHER, WIRING SHALL BE IN WATER-TIGHT GALVANIZED RIGID STEEL OR FLEXIBLE CONDUIT.
11. WHERE PLANS CALL FOR A NEW ELECTRICAL SERVICE, PRIOR TO SUBMITTING BID, CONTRACTOR SHALL VERIFY PLAN DETAILS WITH THE UTILITY'S SERVICE PLAN & RECORDS INCLUDING SERVICE VOLTAGE, METER LOCATION, MAIN DISCONNECTING MEANS, AND MC RECUIT, AND SHALL OBTAIN CLARIFICATION FROM THE PROJECT ENGINEER ON ANY DEVIATIONS FOUND IN THESE PLANS.
12. WHERE THESE PLANS SHOW A DC POWER PLANT, THE INSTALLATION OPERATING AT LESS THAN 50 VDC UNGROUNDED, 2-WIRE, SHALL COMPLY WITH ARTICLE 720, AS FOLLOWS:
 - A. POWER PLANT SHALL BE SUPPLIED BY THE WIRELESS CARRIER AS A PULL-TAG ITEM AND INSTALLED BY THE CONTRACTOR.
 - B. CONDUCTORS SHALL NOT BE SMALLER THAN #12 AWG COPPER MIN. CONDUCTORS FOR BRANCH CIRCUITS SUPPLYING MORE THAN ONE APPLIANCE SHALL BE 10 AWG CU MIN. CONTRACTOR SHALL SIZE CONDUCTORS BASED ON MFR'S DATA FOR THE APPLIANCES SERVED.
 - C. THERE ARE NO DC RECEPTACLES OR LUMINAIRES ALLOWED ON THIS PROJECT. ALL CIRCUITS SHALL ORIGINATE AT AN INTEGRATED DOUBLE LUG TAP OR SOCKET TERMINATION ON AN INTEGRATED DC CIRCUIT BREAKER AT AN INDIVIDUAL RECEPTACLE MODULE AND TERMINATE AT THE SPECIALIZED LUG ON THE RESPECTIVE APPLIANCE AS A SINGLE RUN OF WIRE WITHOUT SPLICES. ALL DC WIRING SHALL BE LABELED AT THE DC PLANT WITH THE APPLIANCE SERVED AND THE DC VOLTAGE.
 - D. ALL CABLING SHALL BE INSTALLED IN A NEAT AND WORKMAN LIKE MANNER AND SUPPORTED BY BUILDING STRUCTURE, EG. (N) CABLE TRAY OVERHEAD, IN SUCH A MANNER THAT THE CABLE WILL NOT BE DAMAGED BY NORMAL USE.

GROUNDING NOTES

1. GROUNDING SHALL COMPLY WITH CEC ARTICLE 250.
 2. USE #2 COPPER STRANDED WIRE WITH GREEN COLOR INSULATION FOR ABOVE GRADE GROUNDING (UNLESS OTHERWISE SPECIFIED) AND #2 SOLID TINNED BARE COPPER WIRE FOR BELOW GRADE GROUNDING AS INDICATED ON THE DRAWING.
 3. EXOTHERMIC WELDS SHALL BE USED FOR ALL GROUNDING CONNECTIONS BELOW GRADE.
 4. EXPOSED GROUNDING CONNECTIONS SHALL BE MADE WITH BURNDY HYGROUND COMPRESSION TYPE CONNECTORS OR EXOTHERMIC WELDS AS SPECIFIED IN THE PLANS.
 5. CONNECTIONS TO EQUIPMENT SHALL BE MADE USING STAINLESS STEEL HARDWARE.
 6. APPLY BUTYL & ELECTRICAL TAPE OVER COLD SHRINK AT ALL LOCATIONS FOR WEATHER PROOFING OVER COAX GROUND KITS.
 7. CONNECTIONS TO GROUND BARS SHALL BE MADE WITH TWO HOLE COMPRESSION TYPE COPPER LUGS WITH STAR WASHERS AND NO-OX OR EQUIVALENT PLACED BETWEEN CONNECTOR AND GROUND BAR.
 8. ROUTE GROUNDING CONDUCTORS ALONG THE SHORTEST AND STRAIGHTEST PATH POSSIBLE EXCEPT AS OTHERWISE INDICATED. GROUNDING LEADS SHOULD NEVER BE BENT AT RIGHT ANGLES. ALWAYS MAKE A 12" RADIUS BEND, HOWEVER, #6 WIRE CAN BE BENT AT A 6" RADIUS WHEN NECESSARY.
 9. THE SYSTEM GROUND RESISTANCE MUST BE 10 OHMS OR LESS. TO ACHIEVE THIS LEVEL OF RESISTANCE THE CONTRACTOR SHALL PURSUE ONE OF THE FOLLOWING FOUR OPTIONS:
 - A. CONNECT TO EXISTING GROUNDING SYSTEMS
 - B. CONNECT TO BUILDING STEEL COLUMNS
 - C. INSTALL A NEW GROUNDING SYSTEM
- UPON COMPLETION OF THE GROUNDING INSTALLATION THE CONTRACTOR SHALL EMPLOY AN OWNER APPROVED 3RD PARTY TO CONDUCT A "TRAIL OF POTENTIAL" TEST AND SUBMIT A REPORT OF SUCH TEST FOR APPROVAL TO EITHER THE OWNER OR CONSTRUCTION MANAGER.

LOAD STUDY	
CARRIER	Ø 35 KVA
VERIZON	1 31 KVA
AT&T	1 19 KVA
GROWN CASTLE	1 19 KVA
TOTAL	= 85 KVA

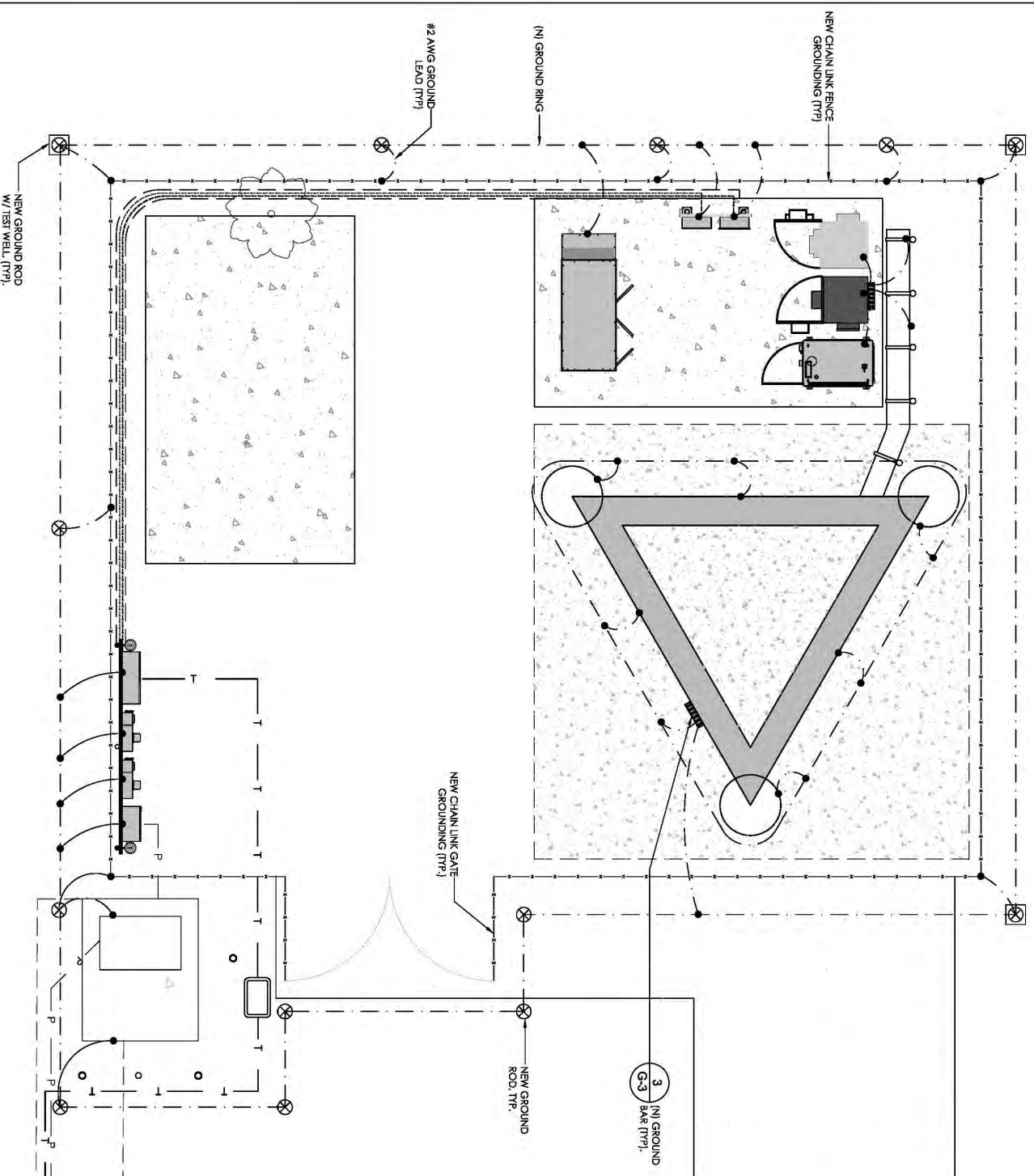
NEW PANEL SCHEDULE

NAMEPLATE : PANEL A		SC LEVEL : 10,000		VOLTS: 120V/240V, 1Ø	
LOCATION : AT EQUIPMENT		MOUNTING : ON WALL		BUS AMPS: 200A	
ØA	ØB	LOAD DESCRIPTION	BKR AMP/POLE	CIRCUIT NO	BKR AMP/POLE
2292	2292	RECEPTER 1	30/2	1	20/1
2292	2292	RECEPTER 2	30/2	5	6
2292	2292	RECEPTER 3	30/2	7	8
2292	2292	RECEPTER 4	30/2	9	10
2292	2292	RECEPTER 5	30/2	11	12
2292	2292	RECEPTER 6	30/2	13	14
2292	2292	RECEPTER 7	30/2	15	16
2292	2292	RECEPTER 8	30/2	17	18
2292	2292	RECEPTER 9	30/2	19	20
2292	2292	RECEPTER 10	30/2	21	22
2292	2292	RECEPTER 11	30/2	23	24
2292	2292	RECEPTER 12	30/2	25	26
2292	2292	RECEPTER 13	30/2	27	28
2292	2292	RECEPTER 14	30/2	29	30
2292	2292	RECEPTER 15	30/2	31	32
2292	2292	RECEPTER 16	30/2	33	34
2292	2292	RECEPTER 17	30/2	35	36
2292	2292	RECEPTER 18	30/2	37	38
2292	2292	RECEPTER 19	30/2	39	40
2292	2292	RECEPTER 20	30/2	41	42
2292	2292	RECEPTER 21	30/2	43	44
2292	2292	RECEPTER 22	30/2	45	46
2292	2292	RECEPTER 23	30/2	47	48
2292	2292	RECEPTER 24	30/2	49	50
2292	2292	RECEPTER 25	30/2	51	52
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2292	2292	RECEPTER 40	30/2	81	82
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2292	2292	RECEPTER 42	30/2	85	86
2292	2292	RECEPTER 43	30/2	87	88
2292	2292	RECEPTER 44	30/2	89	90
2292	2292	RECEPTER 45	30/2	91	92
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2292	2292	RECEPTER 145	30/2	291	292
2292	2292	RECEPTER 146	30/		

1. ALL DETAILS ARE SHOWN IN GENERAL TERMS. ACTUAL GROUNDING INSTALLATION AND CONSTRUCTION MAY VARY DUE TO SITE SPECIFIC CONDITIONS.
2. GROUND ALL ANTENNA BASES, FRAMES, CABLE RUNS, AND OTHER METALLIC COMPONENTS USING #2 GROUND WIRES AND CONNECT TO SURFACE MOUNTED GROUND BUS BARS AS SHOWN. FOLLOW ANTENNA AND BUS MANUFACTURER'S PRACTICES FOR GROUNDING REQUIREMENTS. GROUND COAX SHIELD AT BOTH ENDS USING MANUFACTURER'S PRACTICES. ALL UNDERGROUND WATER PIPES, METAL CONDUITS AND GROUNDS THAT ARE A PART OF THIS SYSTEM SHALL BE BONDED TOGETHER.
3. ALL GROUND CONNECTIONS SHALL BE #2 AWG U.N.O. ALL WIRES SHALL BE COPPER THHN/THWN. ALL GROUND WIRES SHALL BE SOLID THIN COATED OR STRANDED GREEN INSULATED WIRE.
4. CONTRACTOR TO VERIFY AND TEST GROUND TO SOURCE 5 OHMS MAXIMUM. PROVIDE SUPPLEMENT GROUNDING RODS AS REQUIRED TO ACHIEVE SPECIFIED OHMS READING. GROUNDING AND OTHER OPTIONAL TESTING WILL BE WITNESSED BY THE CARRIER REPRESENTATIVE.
5. NOTIFY ARCHITECT/ENGINEER IF THERE ANY DIFFICULTIES INSTALLING GROUND SYSTEM DUE TO SITE SOIL CONDITIONS.
6. BARE GROUNDING CONDUCTOR SHALL BE HARD DRAWN TINNED COPPER SIZES AS NOTED ON PLANS.
7. ALL HORIZONTALLY RUN GROUNDING CONDUCTORS SHALL BE INSTALLED MINIMUM 30" BELOW GRADE/FROST LINE IN TRENCH. U.N.O., AND BACK FILL SHALL BE COMPACTED AS REQUIRED BY ARCHITECT.
8. ALL GROUND CONDUCTORS SHALL BE RUN AS STRAIGHT AND SHORT AS POSSIBLE. WITH A MINIMUM 12" BENDING RADIUS NOT LESS THAN 90 DEGREES.
9. ALL SUPPORT STRUCTURES, CABLE CHANNEL WAYS OR WIRE GUIDES SHALL BE BONDED TO GROUND SYSTEM AT A POINT NEAREST THE MAIN GROUNDING BUS "MGB" (OR DIRECTLY TO GROUND-RING)
10. ACCEPTABLE CONNECTIONS FOR GROUNDING SYSTEM SHALL BE:
 - a. BURNDY, HY-GRADE U.L. LISTED CONNECTORS FOR INDOOR USE OR AS APPROVED BY PROJECT MANAGER.
 - b. CADWELD, EXOTHERMIC WELDS (WELDED CONNECTIONS).
 - c. TWO (2) HOLE TINNED COPPER COMPRESSION (LONG BARREL) FITTINGS (BUS BAR CONNECTIONS).
11. ALL CRIMPED CONNECTIONS SHALL HAVE EMBOSSED MANUFACTURER'S DEMARK VISIBLE AT THE CRIMP (RESULTING FROM USE OF PROPER CRIMPING DEVICES).
12. PRIOR TO ANY LUG-BUSBAR CONNECTIONS, THE BUSBAR SHALL BE CLEANED BY USE OF "SCOTCH-BRITE" OR PLAIN STEEL WOOL AS TO REMOVE ALL SURFACE OXIDATION AND CONTAMINANTS. A COATING OF "NO-OX-ID" SHALL BE APPLIED TO THE CONNECTIONS SURFACES.
13. ALL CONNECTION HARDWARE SHALL BE TYPE 316 SS (NOT ATTRACIED TO MAGNETS).
14. THE GROUND RING SHALL BE INSTALLED 24" MINIMUM BEYOND ANY BUILDING DRIP LINE.
15. ELECTRICAL SERVICE EQUIPMENT GROUNDING SHALL COMPLY WITH NEC, ARTICLE 250-82 AND SHALL BOND ALL EXISTING AND NEW GROUND ELECTRODES. NEW GROUNDING ELECTRODE SHALL INCLUDE BUT NOT LIMITED TO GROUND RODS, GROUND RING IF SERVICE IS WITHIN THE RADIO EQUIPMENT LOCATIONS, BUILDING STEEL IF APPLICABLE, COLD WATER CONNECTIONS MUST BE MADE ON THE STREET SIDE OF MAIN SHUT-OFF VALVE.

GROUNDING LEGEND

- MECHANICAL CONNECTION
- ▽ EXOTHERMIC CADWELD
- ⊕ TYP. CADWELD INSPECTION WELL
- ⊕ TYP. #2 DIA. X 10'-0" LONG COPPER GLAD GROUND ROD @ 10' O.C. MAX & 18" MIN BELOW FINISH GRADE
- TYP. #2 TINNED BOW UNDERGROUND GND RING @ 18" MIN BELOW FINISH GRADE
- S#— GROUND WIRE #2 STRANDED GREEN INSULATED WIRE
- ≡ TIE INTO (E) GROUNDING SYSTEM (W/F)



GROUNDING NOTES

1

GROUNDING PLAN

2



PROJECT INFORMATION:

8311105
FIVE POINTS
 16629 S. ELM AVENUE
 CARLUTHERS, CA 93609

CURRENT ISSUE DATE: **08/28/19**

ISSUED FOR: **100% CONSTRUCTION DRAWINGS**

REV.	DATE	DESCRIPTION	BY
A	2/13/19	100% CONSTRUCTION DRAWING	SS
B	3/15/19	90% CONSTRUCTION DRAWING	SS
C	6/12/19	95% CONSTRUCTION DRAWING	SS
D	6/24/19	100% CONSTRUCTION DRAWING	SS
1	8/28/19	100% CONSTRUCTION DRAWING	SS

PROJECT ARCHITECT/ENGINEER:



CONSULTANT:



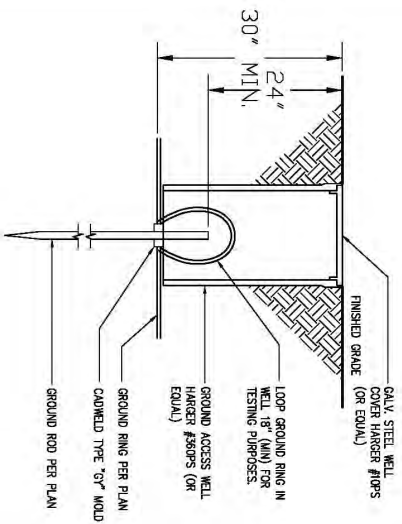
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 CHECKED BY: MIF
 LICENSED BY: MIF



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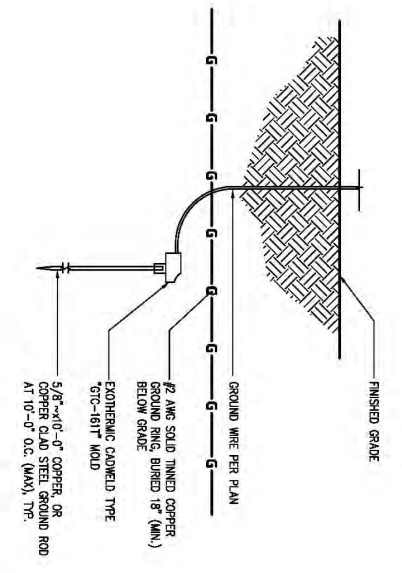
GROUNDING PLANS

SHEET NUMBER: **G-1**

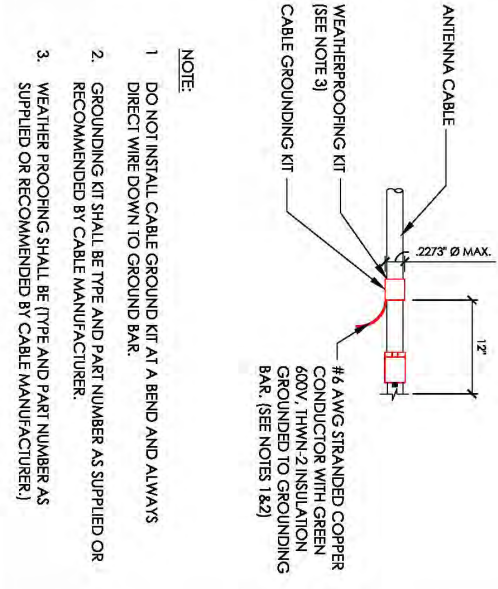


GROUND ROD WITH TEST WELL

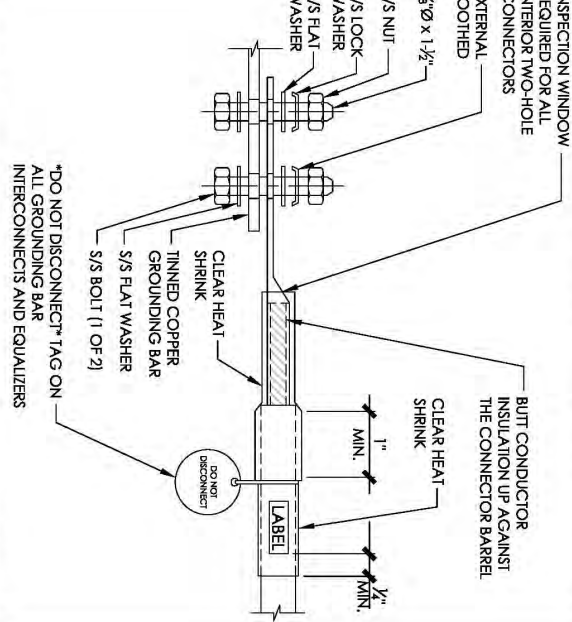
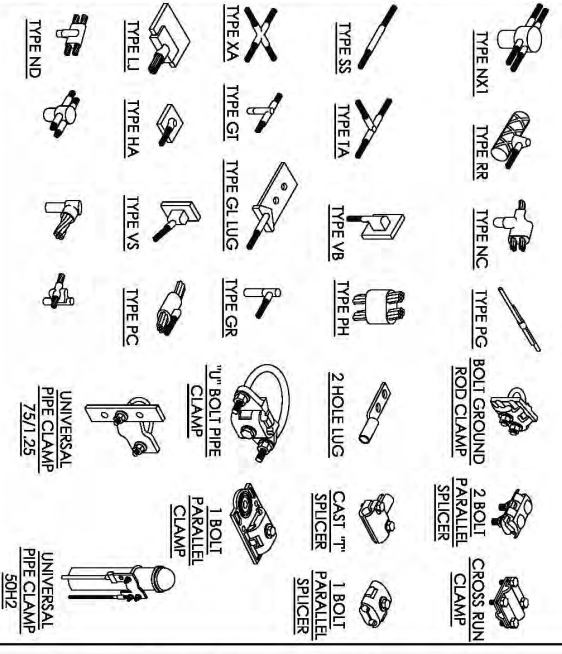
GROUND ROD



CONNECTION OF GROUNDING KIT TO ANTENNA CABLE

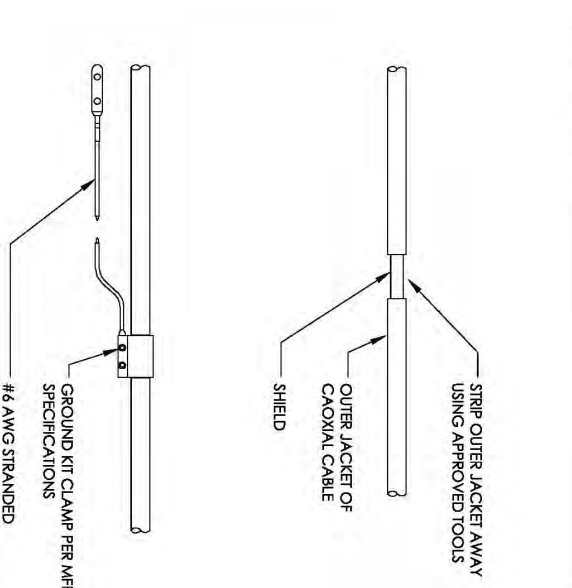


TYP. MECHANICAL DETAILS

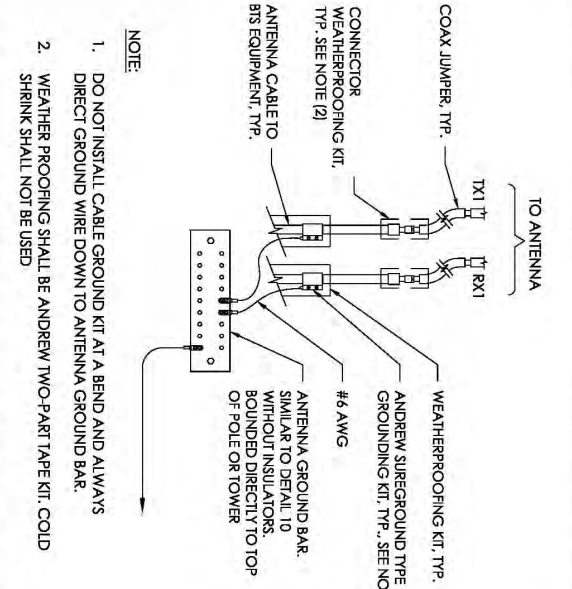


TWO HOLE LUG

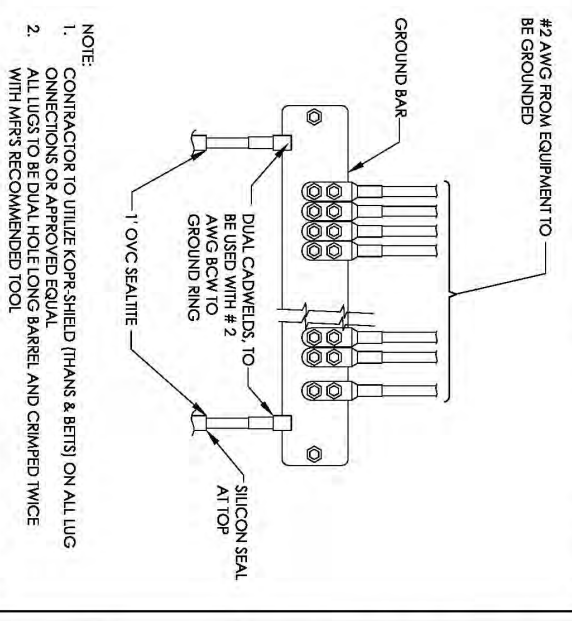
GROUND KIT



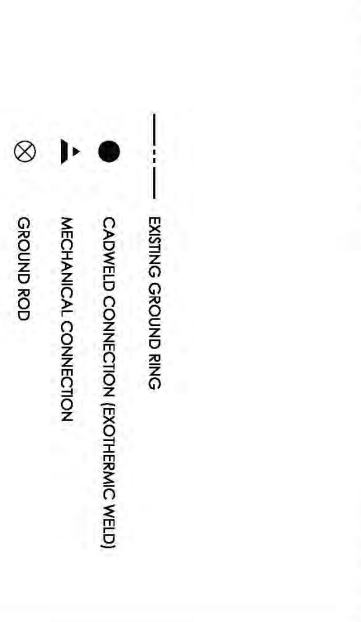
GRND CONNECTION TO GRND BAR



GROUND BAR CONNECTION DET

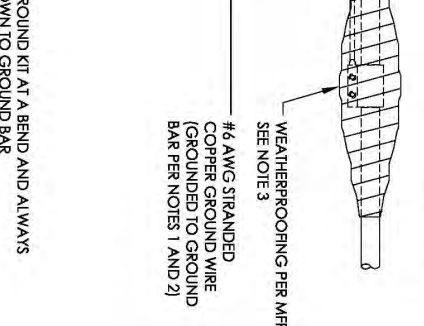


GROUND BAR DETAIL

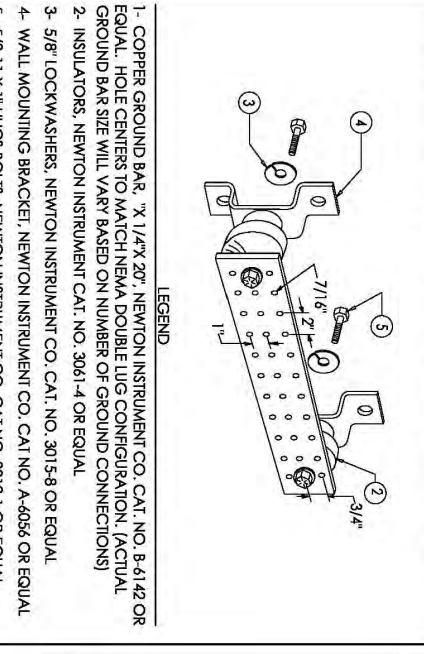


GROUND LEGEND

GROUND KIT



GROUNDING ROD DETAIL



GROUND BAR DETAIL



PROJECT INFORMATION:
8311105
FIVE POINTS
16629 S. ELM AVENUE
CARLUTHERS, CA 93909

CURRENT ISSUE DATE:
08/28/19

ISSUED FOR:
100% CONSTRUCTION DRAWINGS

REV.	DATE	DESCRIPTION	BY
A	2/13/19	10% CONSTRUCTION DRAWING	
B	3/15/19	90% CONSTRUCTION DRAWING	
C	6/12/19	95% CONSTRUCTION DRAWING	
D	6/24/19	100% CONSTRUCTION DRAWING	
1	8/28/19	100% CONSTRUCTION DRAWING	

PROJECT ARCHITECT/ENGINEER:
WSD
Engineering, Inc.
2155 LAS POSITAS COURT, SUITE 1M
LIVERMORE, CA 94551

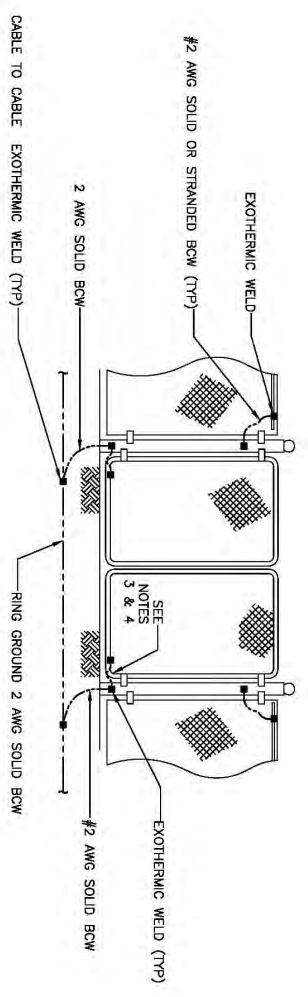
CONSULTANT:
BEACON DEVELOPMENT, LLC
3 ROYAL LANE
Petaluma, CA 94952

DRAWN BY: _____ CHK. BY: _____
SJS MIF MIF



SHEET TITLE:
GROUNDING DETAILS

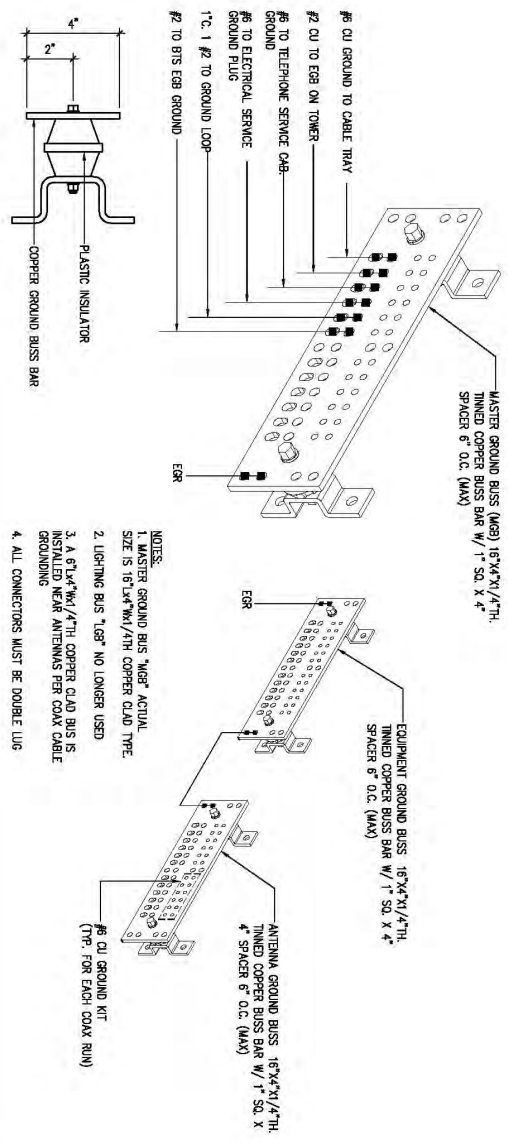
SHEET NUMBER:
G-2



- NOTES:
1. EXOTHERMICALLY WELD THE 2 AWG. BCW FROM THE RING GROUND TO THE POST ABOVE GRADE.
 2. BOND EACH HORIZONTAL POLE/BRACE TO EACH OTHER AND TO EACH VERTICAL POLE BONDED TO THE EXTERIOR GROUND RING
 3. GATE JUMPER SHALL BE 4/0 AWG WELDING CABLE OR FLEXIBLE COPPER BRAID BURNDY TYPE B WITH SLEEVES ON EACH END DESIGNED FOR EXOTHERMIC WELDING.
 4. GATE JUMPER SHALL BE INSTALLED SO THAT IT WILL NOT BE SUBJECTED TO DAMAGING STRAIN WHEN GATE IS FULLY OPEN IN EITHER DIRECTION.

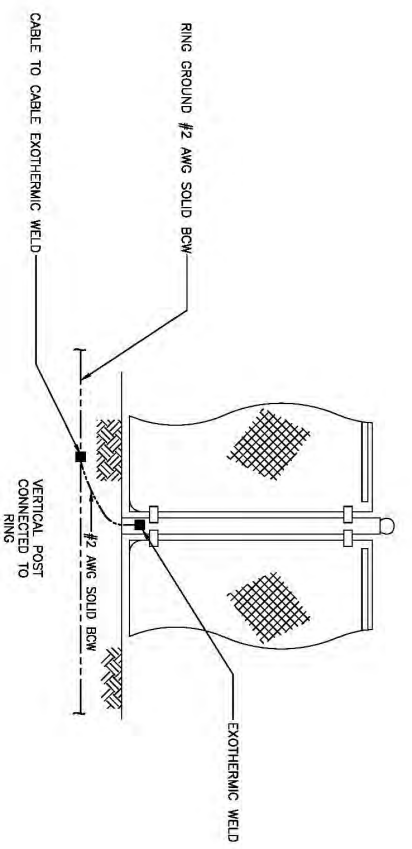
GATE GROUND DETAILS

SCALE
N.T.S. **1**



GROUND BAR DETAILS

SCALE
N.T.S. **3**



- NOTES:
1. VERTICAL POSTS SHALL BE BONDED TO THE RING AT EACH CORNER AND AT EACH GATE POST. AS A MINIMUM ONE VERTICAL POST SHALL BE BONDED TO THE GROUND RING IN EVERY 100 FOOT STRAIGHT RUN OF FENCE.
 2. METAL FENCE POSTS WITHIN 7 FEET OF THE BURIED GROUND RING SHALL BE BONDED DIRECTLY TO THE GROUND RING AT 25 FOOT INTERVALS.

FENCE GROUNDING DETAILS

SCALE
N.T.S. **2**



PROJECT INFORMATION:
8311105
FIVE POINTS
16629 S. ELM AVENUE
CARLUTHERS, CA 93609

CURRENT ISSUE DATE:
08/28/19

ISSUED FOR:
100% CONSTRUCTION DRAWINGS

REV.	DATE	DESCRIPTION	BY
A	2/13/19	100% CONSTRUCTION DRAWING	
B	3/15/19	90% CONSTRUCTION DRAWING	
C	6/12/19	95% CONSTRUCTION DRAWING	
D	6/24/19	100% CONSTRUCTION DRAWING	
1	8/28/19	100% CONSTRUCTION DRAWING	

PROJECT ARCHITECT/ENGINEER:
WSD
Engineering, Inc.
DATA FROM CONSTRUCTION THE
2155 LAS POSITAS COURT, SUITE M
LIVERMORE, CA 94551

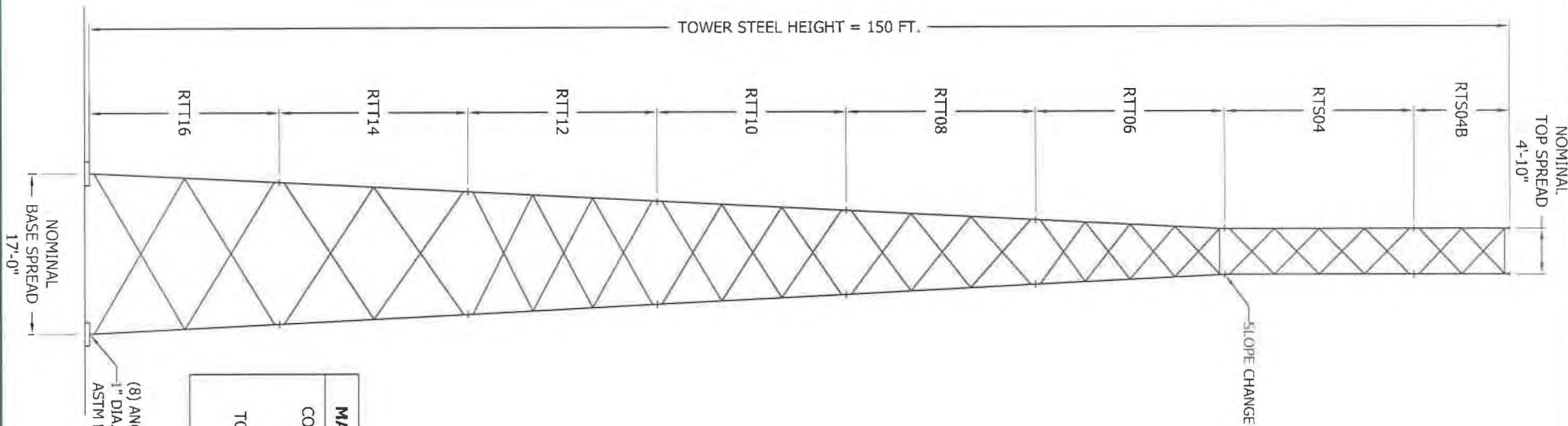
CONSULTANT:
BEACON DEVELOPMENT, LLC
3 ROYUNA LANE
PETALUMA, CA 94952

DRAWN BY: _____ CHK.: _____ APV.: _____
SJS MIF MIF
LICENSER: _____



SHEET TITLE:
GROUNDING DETAILS

SHEET NUMBER:
G-3



GENERAL NOTES

1. ROHN PRODUCTS, LLC TOWER DESIGNS CONFORM TO ANSII/TIA-222-G/H UNLESS OTHERWISE SPECIFIED UNDER TOWER DESIGN LOADING.
2. THE DESIGN LOADING CRITERIA INDICATED HAS BEEN PROVIDED TO ROHN. THE DESIGN LOADING CRITERIA HAS BEEN ASSUMED TO BE BASED ON SITE-SPECIFIC DATA IN ACCORDANCE WITH ANSII/TIA-222-G/H AND MUST BE VERIFIED BY OTHERS PRIOR TO INSTALLATION.
3. ANTENNAS AND LINES LISTED IN TOWER DESIGN LOADING TABLE ARE PROVIDED BY OTHERS UNLESS OTHERWISE SPECIFIED.
4. STEP BOLTS WITH A SAFETY CLIMB SYSTEM ARE PROVIDED AS A CLIMBING FACILITY FOR THE INSTALLATION OF THE STRUCTURE.
5. TOWER MEMBER DESIGN DOES NOT INCLUDE STRESSES DUE TO ERECTION SINCE ERECTION EQUIPMENT AND CONDITIONS ARE UNKNOWN. DESIGN ASSUMES COMPETENT AND QUALIFIED PERSONNEL WILL ERECT THE TOWER.
6. WORK SHALL BE IN ACCORDANCE WITH ANSII/TIA-222-G/H, "STRUCTURAL STANDARDS FOR STEEL ANTENNA TOWERS AND ANTENNA SUPPORTING STRUCTURES".
7. THE MINIMUM YIELD STRENGTH OF STRUCTURAL STEEL MEMBERS SHALL BE 50 KSI.
8. FIELD CONNECTIONS SHALL BE BOLTED. NO FIELD WELDS SHALL BE ALLOWED.
9. STRUCTURAL BOLTS SHALL CONFORM TO GRADE A325 PER ASTM F3125, EXCEPT WHERE NOTED.
10. PAL NUTS ARE PROVIDED FOR ALL TOWER BOLTS.
11. STRUCTURAL STEEL AND CONNECTION BOLTS SHALL BE HOT-DIPPED GALVANIZED AFTER FABRICATION IN ACCORDANCE WITH ANSII/TIA-222-G/H.
12. ALL HIGH STRENGTH BOLTS ARE TO BE TIGHTENED TO A "SNUG TIGHT" CONDITION AS DEFINED IN THE RCSC "SPECIFICATION FOR STRUCTURAL JOINTS USING HIGH-STRENGTH BOLTS". NO OTHER MINIMUM BOLT TENSION OR TORQUE VALUES ARE REQUIRED.
13. PURCHASER SHALL VERIFY THE INSTALLATION IS IN CONFORMANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS FOR OBSTRUCTION MARKING AND LIGHTING.
14. TOLERANCE ON TOWER STEEL HEIGHT IS EQUAL TO PLUS 1% OR MINUS 1/2%.
15. DESIGN ASSUMES THAT AS A MINIMUM, MAINTENANCE AND INSPECTION WILL BE PERFORMED OVER THE LIFE OF THE STRUCTURE IN ACCORDANCE WITH ANSII/TIA-222-G/H.
16. DESIGN ASSUMES LEVEL GRADE AT TOWER SITE.
17. DESIGN ASSUMES ALL ANTENNAS ARE MOUNTED SYMMETRICALLY TO MINIMIZE TORQUE, IF APPLICABLE.
18. FOUNDATIONS SHALL BE DESIGNED TO SUPPORT THE REACTIONS SHOWN FOR THE CONDITIONS EXISTING AT THE SITE.

MAXIMUM FACTORED REACTIONS	
COMPRESSION =	285.3 KIPS
TENSION =	254.2 KIPS
TOTAL SHEAR =	41.2 KIPS
O.T.M. =	4,007.0 FT-KIPS

(8) ANCHOR BOLTS (24 TOTAL)
1" DIA. X 70" LONG
ASTM F1554 Gr. 105

TOWER DESIGN LOADING

DESIGN WIND LOAD PER ANSII/TIA-222-G: ASCE 7-10 ULTIMATE WIND SPEED (NO ICE) = 110 MPH STRUCTURE CLASS = II EXPOSURE CATEGORY = C TOPOGRAPHIC CATEGORY = 1 EARTHQUAKE SPECTRAL RESPONSE ACCELERATION: SS = 0.787, S1 = 0.295 THIS TOWER IS DESIGNED TO SUPPORT THE FOLLOWING LOADS:		
DESIGN PER ANSII/TIA-222-H: RISK CATEGORY: II BASIC WIND SPEED (NO ICE): 94 MPH PER ASCE 7-16 GROUND ELEVATION, ZS: 242 FT EXPOSURE CATEGORY: C TOPOGRAPHIC METHOD: 1, CATEGORY: 1 SEISMIC DESIGN PARAMETERS, SS: 0.787, S1: 0.295, T1: 12, SITE CLASS: D		
THIS STRUCTURE HAS BEEN DESIGNED TO SUPPORT THE FOLLOWING		
ELEVATION (FT)	ANTENNA TYPE	LINE SIZE (NOM)
TOP	LIGHTNING ROD	
145	250 SQFT MAX EPA	(18) 1-5/8"
135	250 SQFT MAX EPA	(18) 1-5/8"
80	150 SQFT MAX EPA	(12) 1-5/8"
TOWER DESIGN INCLUDES AN INSIDE CORNER-MOUNTED CLIMBING LADDER		

SECTION MAIN MEMBER SCHEDULE

SECTION	LEG	DIAGONAL	HORIZONTALS
RTS04B	PIPE 2.875X0.203	L1 3/4x1 3/4x1/8 (2)	L1 3/4x1 3/4x3/16 (1)
RTS04	PIPE 3.500X0.216	L1 3/4x1 3/4x3/16 (4)	N/A
RTT06	PIPE 4X0.318	L1 3/4x1 3/4x3/16 (4)	L1 3/4x1 3/4x3/16 (1)
RTT08	PIPE 4.500X0.337	L2x2x3/16 (3)	N/A
RTT10	PIPE 5.563X0.375	L2 1/2x2 1/2x3/16 (3)	N/A
RTT12	PIPE 5.563X0.375	L2 1/2x2 1/2x3/16 (3)	N/A
RTT14	PIPE 6.625X0.432	L3x3x3/16 (2)	N/A
RTT16	PIPE 6.625X0.432	L3x3x1/4 (2)	N/A

NOTE: SECTION NUMBERS ARE FOR REFERENCE ONLY. FOR NOMINAL FACE WIDTH DIMENSIONS, REFER TO THE STRESS ANALYSIS.
THE NUMBERS SHOWN IN PARENTHESES INDICATE THE NUMBER OF BAYS FROM TOP TO BOTTOM.

FILE NO: 229805

REV	DESCRIPTION	DWN	CHK	APP



PO BOX 5999
PEORIA, IL 61601-5999
TOLL FREE 800-727-ROHN

THIS DRAWING IS THE PROPERTY OF ROHN. IT IS NOT TO BE REPRODUCED, COPIED OR TRACED IN WHOLE OR IN PART WITHOUT OUR WRITTEN CONSENT.

CROWN CASTLE
DESIGN PROFILE
150 FT RT TOWER
ELKHORN RD BU814686-CA

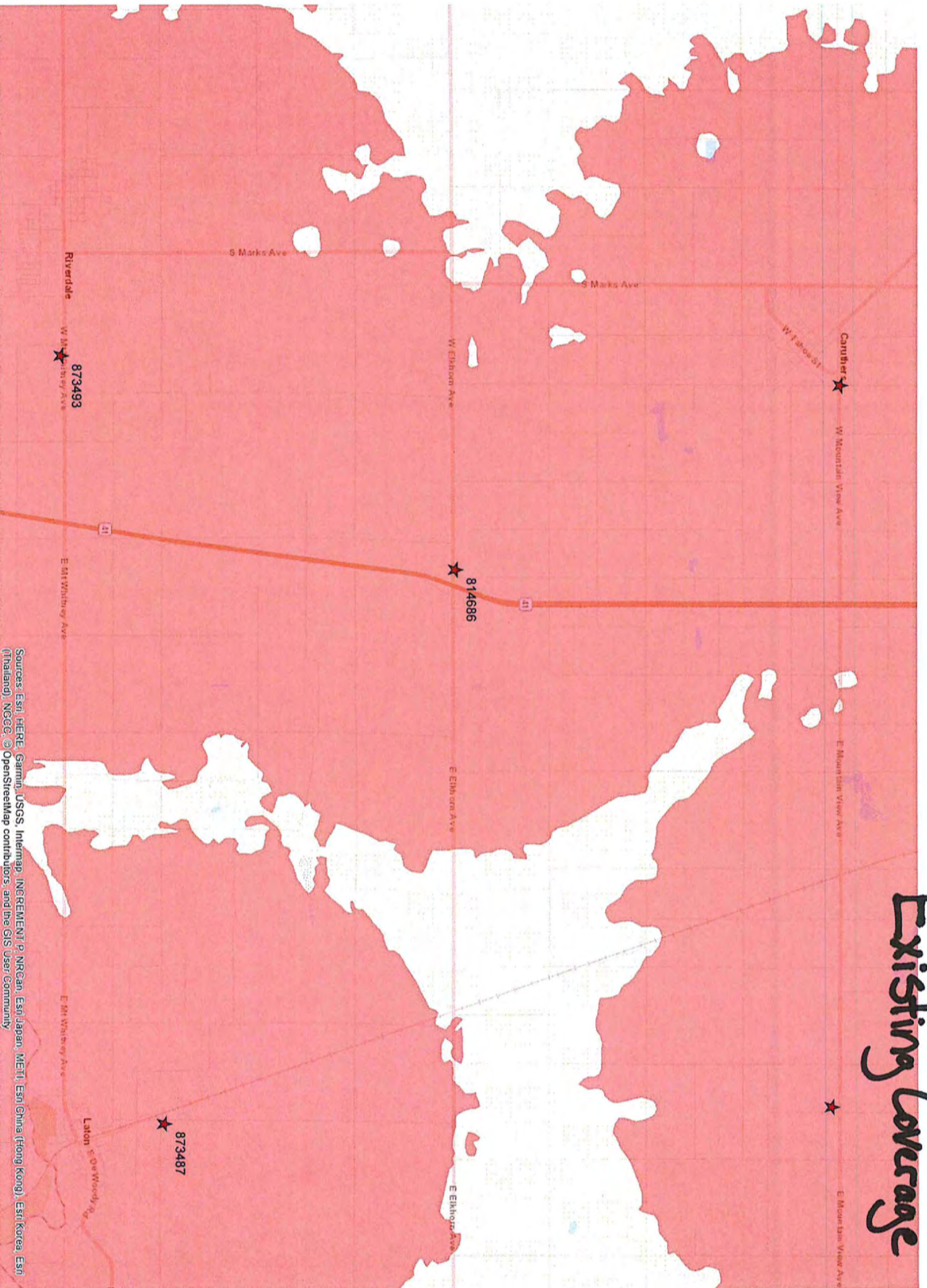
DWN: RCS
CHKD: HHA
DATE: Apr/08/19

ENGR: HHA
SHEET #: 1 OF 1

PRJ ENGR: RCS
PRJ MANGR:

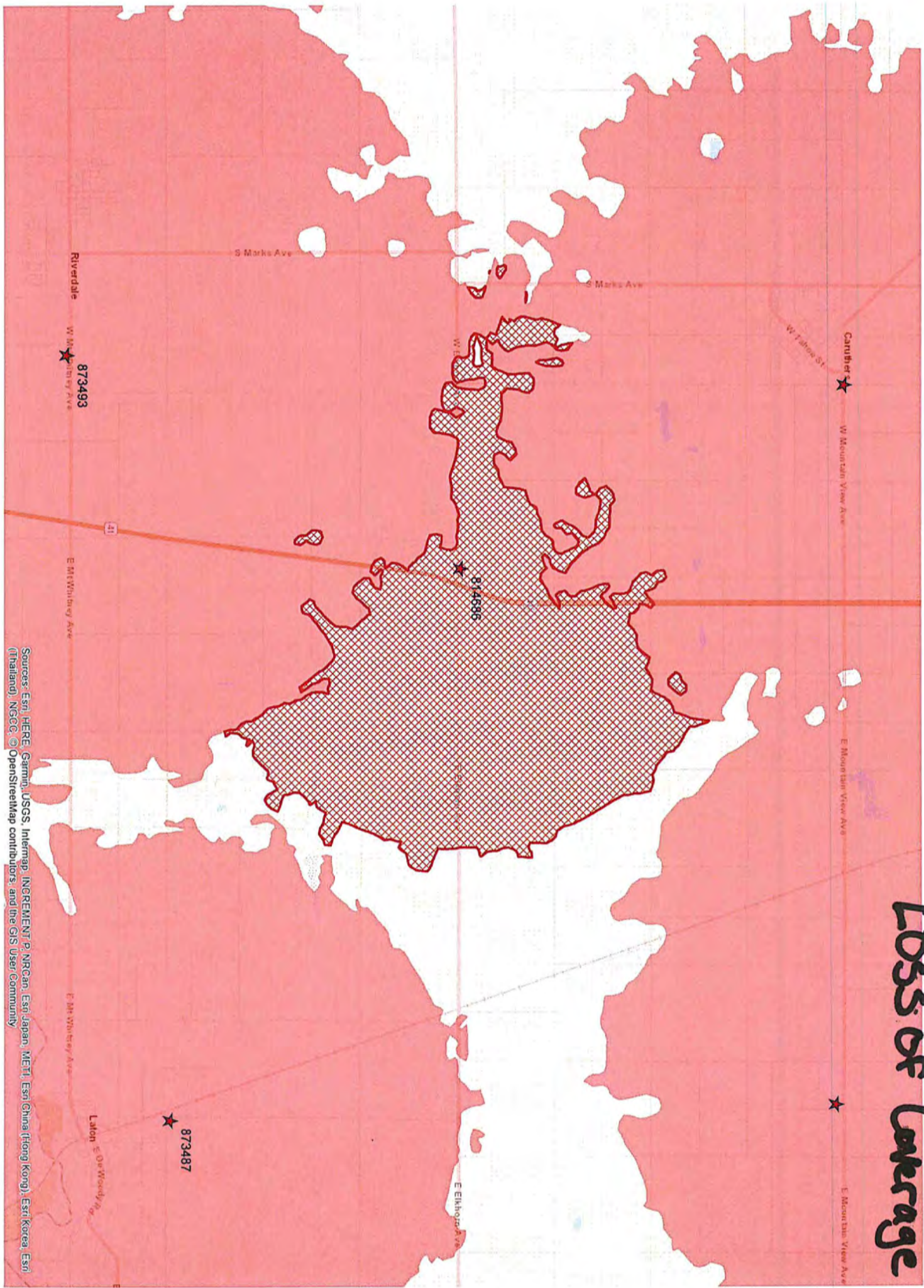
DRAWING NO: 229805-01-D1
REV: 0

Existing Coverage



Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, OpenStreetMap contributors, and the GIS User Community

Loss of Coverage



Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Swire, Esri Korea, Esri (Thailand), NGCC, OpenStreetMap contributors, and the GIS User Community



3 Rovina Lane
Petaluma, CA 94952
T 415-529-8868
jason@beacondev.net

PROJECT PROPOSED LOCATION

Crown Castle Telecommunication Facility
16629 S. Elm Avenue, Caruthers, CA 93609
Site Name: Iva Arthur (831105)
APN: 042-200-06S

Nature of Request

Crown Castle seeks a Planning Department approval to build a new wireless telecommunication facility with a lattice tower at 16629 S. Elm Avenue, Caruthers, CA. The purpose of this facility would be to maintain coverage.

Property Description

The subject property is zoned AE-30 (Agricultural Exclusive) and is owned by Iva M Arthur, Trustee.

Project Description

This is an unmanned telecommunication facility consisting of the installation of a new 150' lattice tower, a 40' x 50' Crown Castle multi-carrier fenced compound consisting of the installation and operation of antennas and associated equipment. This project is located on private property and will continue to provide wireless coverage in the local community as the existing tower will be decommissioned. The installation will not adversely affect the surrounding area and will have no impact on traffic other than during construction activities, which take less than 30.

The proposal includes the following scope of work:

- New 150'-0" tall lattice tower.
- New 40'-0" x 50'-0" chain-link fence with barbed wire equipment enclosure.
- New electrical 400 meter with fused disconnect, intersect cable.
- 9 new antennas (3 per sector).
- 9 new radio remote radios (3 per sector).

Statement of Operations

This proposed facility will be to replace a currently operating wireless telecommunication facility that we be decommissioned upon construction of a "new" wireless facility to maintain cellular and emergency coverage in the area. This facility will be an unmanned facility operating 24 hours a day, 7 days per week, and 52 weeks per year. There will not be any employees as the facility is unmanned, entirely self-monitored and connects directly to a central office where sophisticated computers alert personnel to any equipment malfunction or breach of security. Upon completion of construction, fine-tuning of the facility may be necessary, meaning the site will be adjusted once or twice a month by a service technician for routine maintenance. Periodic testing and maintenance to keep the facility operational will require a service vehicle to access the property occasionally but no parking spaces will be required. No goods are sold on this facility location, materials to be used for construction are outlined in the zoning drawings included with the zoning package. This facility will



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T 415-529-8868
jason@beacondev.net

not cause unsightly appearance in the area as it will be painted to jurisdictional requirements and will not have any solid or liquid waste as well as no requirement for additional water usage. There will be no advertising of the facility but there will be owner, safety, and required signing as set forth by the FCC and local jurisdiction. Two new small buildings will be added within the 100'x100' compound and fencing to house and protect sensitive equipment, fencing with barbed wire will encompass the 100'x100' lease area and tower as a security measure as well as lighting for the top and sides of the 280' lattice tower as required by the FAA and local jurisdiction.

Zoning Analysis

The site of the proposed facility is currently zoned AE-30 (Exclusive Agricultural District). Based on a Pre-App Meeting with Ms. Danielle Crider, of the Fresno County Planning Department, we have been instructed to submit for a Conditional Use Permit which would be taken into consideration by Fresno County staff.

Alternative Sites Analysis

As requested, Beacon Development has provided a separate document for submission to the County of Fresno which identifies all neighboring telecom facilities within roughly a (10+) mile radius. Please understand, even taking into account the topography in this particular area, most cellular systems can only transmit 3-5 miles, depending on a number of factors. Our analysis reflects a number of adjacent sites, most of which are over (8) miles away and would not provide coverage in our requested area coupled with the fact we are requesting to *replace* the tower on the adjacent property. Please note, during our pre-app meeting we discussed Ms. Danielle Crider and discussed the project and process, namely in our review of colocations, using another property with an existing tower would be preferred, but given there are no immediate towers, we need to reflect them on our supplemental report. With the above being said, please find an attached PowerPoint report which reflects our findings.

Compliance with Federal Regulations

Crown Castle (as the owner of the facility) will not only comply with all FCC rules governing construction requirements, technical standards, interference protection, power and height limitations, and radio frequency standards, but ensure our respective tenants do as well. In addition, the company will comply with all FAA rules on site location and operation. We have also provided an EMF Study which reflects our adherence to FCC guidelines for RF exposure.

Federal Regulations Applicable to This Application

Federal law and the FCC's rules implementing the law require that this permit application be processed to a final decision by this jurisdiction without delay. Specifically, because this application proposes to install new equipment on a new tower outside the public rights of way, this application must be approved or denied within one hundred fifty (150) days from its submission, today.¹

¹ *In re Petition for Declaratory Ruling to Clarify Provisions of Section 332(c)(7)(B) to Ensure Timely Siting Review*, Declaratory Ruling, 24 FCC Rcd. 13994 ¶¶ 32, 45-46 (2009) (“*FCC Shot Clock Order*”); *In the matter of Acceleration of Broadband Deployment By Improving Wireless Facilities Siting Policies*, Report and Order, FCC 14-153, WT Docket No. 13-238, ¶ 272 (FCC Oct. 21, 2014) (“*Wireless Infrastructure Order*”) (clarifying that DAS nodes that involve installation of new poles trigger the 150 day shot clock).



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Moreover, pursuant to FCC regulations, this application is deemed complete 30 days after today, unless written notice is provided to the applicant.² If the application is incomplete, within the next 30 days written notice must be provided specifying any items missing to make the application complete.³ For each item missing, the written notice must specify the code provision, ordinance, application instruction, or otherwise publically-stated procedure that requires the submission of the information.⁴

The Telecommunications Act limits the authority of local jurisdictions by, among other restrictions, requiring approval within a reasonable period of time. In submitting this application, Crown Castle expressly reserves all of its Federal and State Rights, including, without limitation, its rights under federal and state law to challenge the requirement for a discretionary permit for its proposed installation. Neither the act of submitting the application nor anything contained therein shall be construed as a waiver of any such rights.

Please send all written requests for additional information regarding this application to:

Jason F. Osborne
Beacon Development, LLC
3 Rovina Lane
Petaluma, CA 94952
(415) 529-8868 mbl
jason@beacondev.net



² *Wireless Infrastructure Order* at ¶¶ 257, 259.

³ *Wireless Infrastructure Order* at ¶¶ 259-260.

⁴ *Id.*



**Development
 Services and
 Capital Projects
 Division**

Operational Statement Checklist

Department of Public Works and Planning

It is important that the Operational Statement provides for a complete understanding of your proposal. The Operational Statement that you submit **must** address all of the following that apply to your proposal. **Your Operational Statement must be typed or written in a legible manner on a separate sheet(s) of paper. Do not submit this checklist as your Operational Statement.** It should serve only as a guide for preparing a complete Statement.

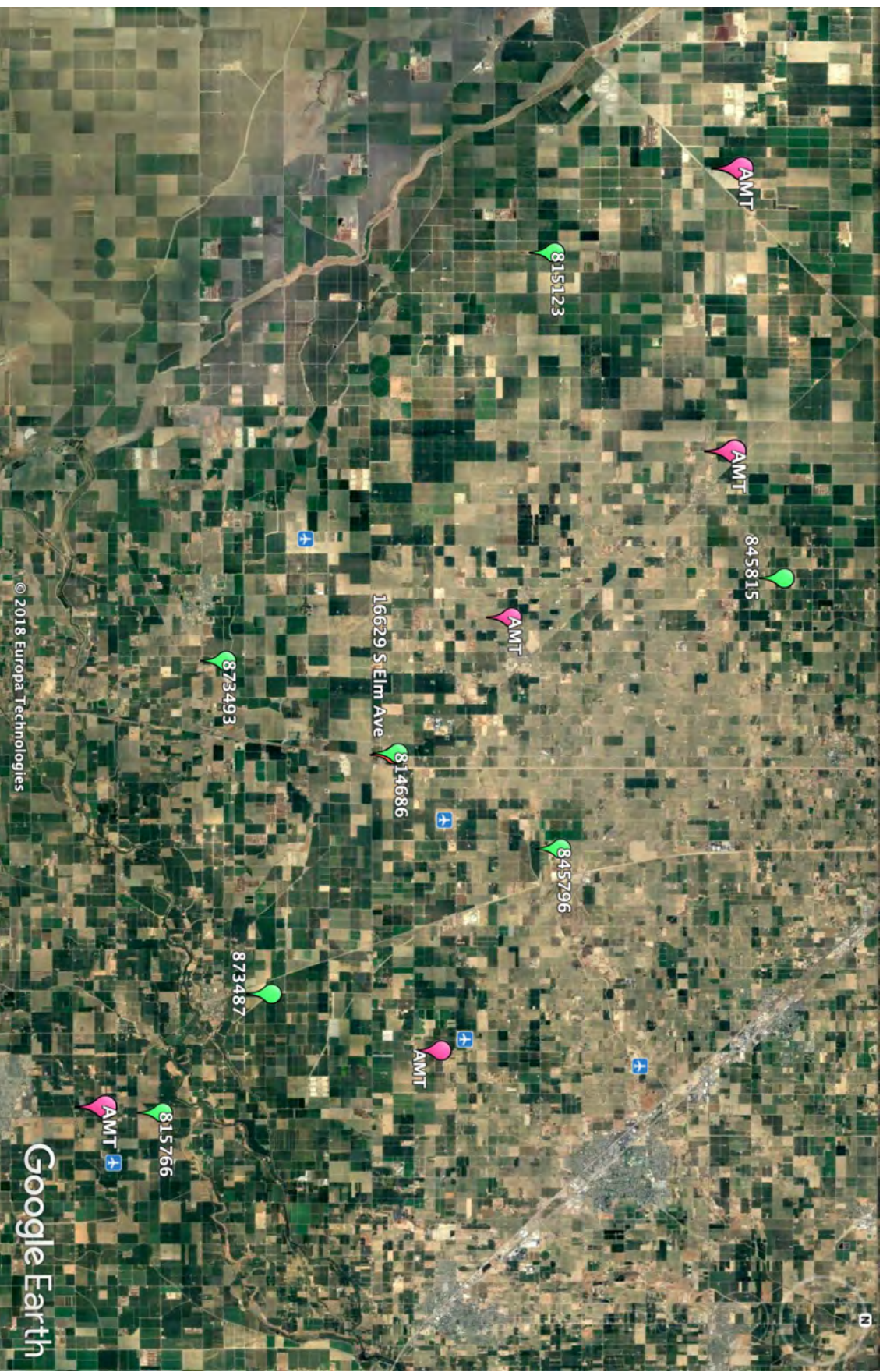
- X 1. **Nature of the operation--what do you propose to do? Describe in detail.**
- 24/7 2. **Operational time limits:**
 Months (if seasonal): _____ Days per week: _____
 Hours (from _____ to _____) Total hours per day: _____
 Special activities: _____ Frequency: _____ Hours: _____ Are these indoors or outdoors?
- 0 3. **Number of customers or visitors:**
 Average number per day: _____ Maximum number per day: _____ Hours (when they will be there): _____
- 0 4. **Number of employees:**
 Current: _____ Future: _____ Hours they work: _____ Do any live on-site as a caretaker?
- X 5. **Service and delivery vehicles:**
 Number: 1 Type: Telecom Frequency: **(2) Times**
per Month
- X 6. **Access to the site:**
 Public Road: _____ Private Road: X Surface: _____ Unpaved (dirt/gravel) / Paved: _____
- 0 7. **Number of parking spaces for employees, customers, and service/delivery vehicles.**
 Type of surfacing on parking area. _____
- N/A 8. **Are any goods to be sold on-site? If so, are these goods grown or produced on-site or at some other location?**
 Explain. _____
- X 9. **What equipment is used? If appropriate, provide pictures or brochure. *Hand tools**
- N/A 10. **What supplies or materials are used and how are they stored?**
- X 11. **Does the use cause an unsightly appearance? *Telecom Tower**
 Noise? _____ Glare? _____ Dust? _____ Odor? _____
 If so, explain how this will be reduced or eliminated. _____
- N/A 12. **List any solid or liquid wastes to be produced.**
 Estimated volume of wastes: _____ How and where is it stored? _____
 How is it hauled, and where is it disposed? _____ How often? _____
- N/A 13. **Estimated volume of water to be used (gallons per day). Source of water?**
- N/A 14. **Describe any proposed advertising including size, appearance, and placement.**
- X 15. **Will existing buildings be used or will new buildings be constructed?**
 Describe type of construction materials, height, color, etc. Provide Floor Plan and elevations, if appropriate.
*Telecom Equipment
- N/A 16. **Explain which buildings or what portion of buildings will be used in the operation.**
- X 17. **Will any outdoor lighting or an outdoor sound amplification system be used?**
 Describe and indicate when used. *(1) Equipment Light / Safety
- X 18. **Landscaping or fencing proposed? Describe type and location. *See Plans, (1) Fence**
- X 19. **Any other information that will provide a clear understanding of the project or operation.**
- N/A 20. **Identify all Owners, Officers and/or Board Members for each application submitted; this may be accomplished by submitting a cover letter in addition to the information provided on the signed application forms.**



831105

16629 S Elm, Caruthers, CA 93609
SITE ALTERNATIVES

831105 OVERVIEW



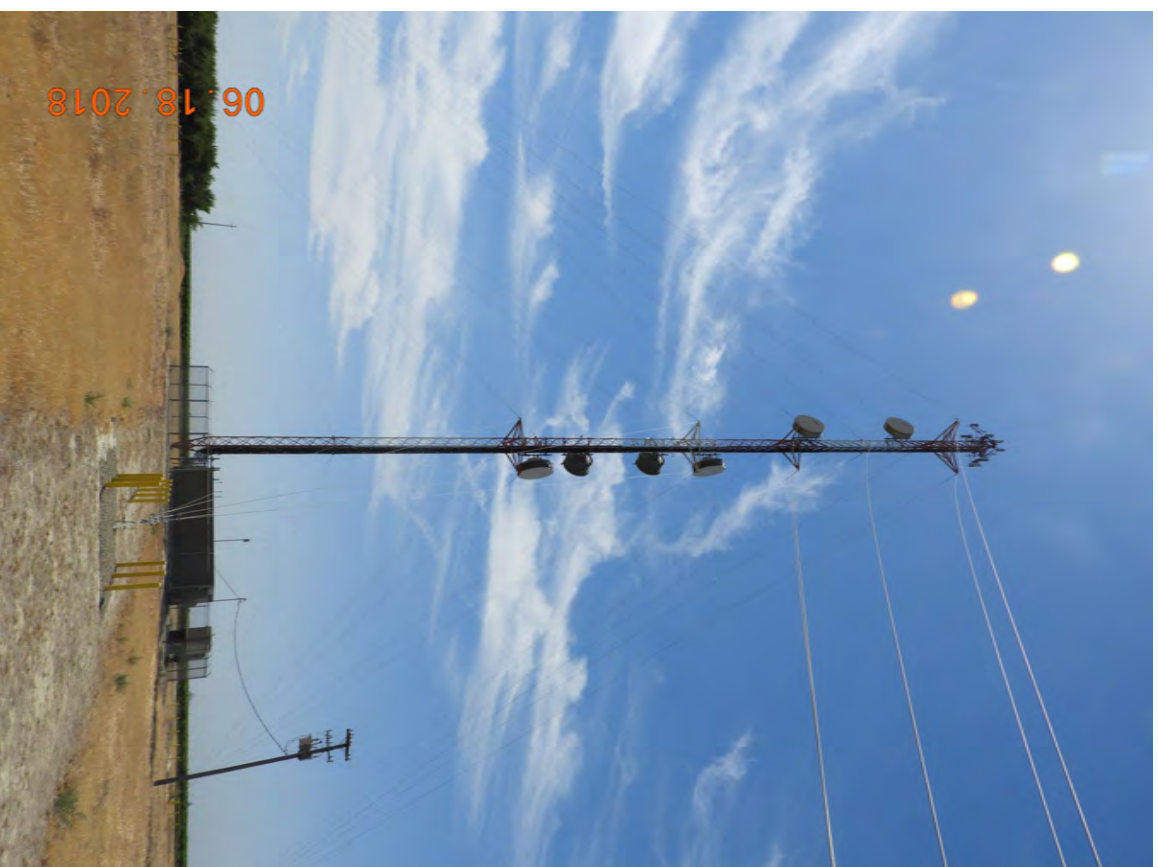
NEIGHBORING SITES

SITE OWNER	SITE ID	TYPE	ADDRESS	NOTES
CCI	814686	SELF SUPPORT	82 West Elkhorn Avenue Caruthers, CA 93609	0.30 miles
CCI	815123	GUYED	13005 S. Jameson Fresno, CA 93627	12 miles
CCI	815766	SELF SUPPORT	4502 10th Ave Hanford, CA 93230	10 miles
CCI	845796	GUYED	13178 SOUTH CEDAR AVENUE FRESNO, CA 93725	5 miles
CCI	845815	SELF SUPPORT	7700 SOUTH BLYTHE AVENUE FRESNO, CA 93706	11 miles
CCI	873487	SELF SUPPORT	6034 E HARLAN LATON, CA 93242	6 miles
CCI	873493	SELF SUPPORT	1861 West Mount Whitney RIVERDALE, CA 93656	4 miles
AMT	43846	SELF SUPPORT	8355 South McMullin Grade, FRESNO, CA 93706-9350	16 miles
AMT	300608	MONOPOLE	10258 Elder Ave., Hanford, CA 93230-9101	11 miles
AMT	300790	SELF SUPPORT	3293 W. Kamm, Caruthers, CA 93609-9545	4 miles
AMY	301192	SELF SUPPORT	7245 W. Manning, Fresno, CA 93706-9347	11 miles
AMT	302109	SELF SUPPORT	6910 East Clarkson Avenue, Selma, CA 93662-9455	7 miles

CCI 814686 –(0.30 miles): Subject Tower to be removed based on expiring ground lease.



CCI 815123 --(12 miles)



CCI 815766 -- (10 miles)



CCI 845796 --(5 miles)



CCI 845815 --(11 miles)



CCI 873487 --(5 miles)



CCI 873493 --(4 miles)



AMT 43346 -- (16 miles)



AMT 300608 -- (11 miles)



AMT 300790 -- (4 miles)



AMT 301192 -- (11 miles)



AMT 302109 -- (7 miles)



Fresno County Tower (0.6 Mile): Unable to use 'guy tower' based on structural issues, wherein we are adding at least 12 antennas, and we are contractually responsible to our carrier to replace the tower and existing site configuration.



Fresno County Tower (0.6 Mile)



Fresno County Tower (0.6 Mile)

latitude	longitude	call_sign	location_address	location_city	location_county	location_state	licensee_entity_name
36.49355556	-119.7823611	KMK870	500 E ELKHORN	CARUTHERS	FRESNO	CA	COUNTY OF FRESNO
36.49355556	-119.7823333	WNEH867	500 E ELKHORN AVE	CARUTHERS	FRESNO	CA	FRESNO COUNTY OF



County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

EVALUATION OF ENVIRONMENTAL IMPACTS

APPLICANT: Jason Osborne, Beacon Development on behalf of Crown Castle

APPLICATION NOS.: Initial Study Application No. 7611 and Unclassified
Conditional Use Permit Application No. 3648

DESCRIPTION: Allow construction of a new unmanned wireless telecommunications facility consisting of a 150-foot lattice tower with associated antennas and equipment on a 40-foot by 50-foot fenced area on a 1.45-acre parcel in the AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District.

LOCATION: The project site is located on the west side of Elm Avenue approximately 1,764 feet north of its nearest intersection with Elkhorn Avenue and is located approximately 3.36 miles southeast of the nearest unincorporated community of Caruthers (042-200-06S).

I. AESTHETICS

Except as provided in Public Resources Code Section 21099, would the project:

- A. Have a substantial adverse effect on a scenic vista; or
- B. Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?

FINDING: NO IMPACT:

According to Figure OS-2 of the Fresno County General Plan, the project site is not located on or near an identified Scenic Roadway. No scenic vista has been identified that would be affected by the proposed project. The project site is located in a mainly agricultural area with the Southwest Transportation Agency being located across Elm Avenue.

- C. In non-urbanized areas, substantially degrade the existing visual character or quality of public views of the site and its surroundings? (Public views are those that are experienced from publicly accessible vantage point). If the project is in an urbanized area, would the project conflict with applicable zoning and other regulations governing scenic quality?

FINDING: LESS THAN SIGNIFICANT IMPACT:

According to Assessor Parcel Map records, the subject parcel is approximately 390 feet in depth. The project site is located in the rear of the property. Existing residences and accessory buildings along with mature landscaping on the property and orchards surrounding the project site, ground equipment will be effectively screened from the public right-of-way. The lattice tower design has been proposed to resemble other cell towers that have been approved within the vicinity of the project site. The proposed project will have a less than significant impact on the existing visual character or quality of public view of the site and its surroundings.

- D. Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?

FINDING: LESS THAN SIGNIFICANT IMPACT WITH MITIGATION INCORPORATED:

The Applicant has indicated that lighting for the tower will be installed per Federal Aviation Administration (FAA) guidelines. In the event that lighting is also installed at ground level, a mitigation measure will be implemented so that all installed lighting will be hooded and directed downward so as not to shine on adjacent properties or public right-of-way.

* **Mitigation Measure(s)**

1. *All outdoor lighting shall be hooded and directed downward so as not to shine on adjacent properties or public right-of-way.*

II. AGRICULTURAL AND FORESTRY RESOURCES

In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Dept. of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the state's inventory of forest land, including the Forest and Range Assessment Project and the Forest Legacy Assessment project; and forest carbon measurement methodology in Forest Protocols adopted by the California Air Resources Board. Would the project:

- A. Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance, as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?

FINDING: LESS THAN SIGNIFICANT IMPACT:

Based on the 2016 Fresno County Important Farmland map, the project site is located within land designated as Urban and Built-Up Land and Farmland of Statewide

Importance. Aerial photographs of the project site and site photographs provided by the Applicant show that the subject parcel is utilized for residential use and is not being used for agricultural purposes. Staff believes that although the project site may be located on or near Farmland of Statewide Importance, the proposed project will not convert farmland as there is no indication that farmland is present on the subject parcel.

- B. Conflict with existing zoning for agricultural use, or a Williamson Act Contract?

FINDING: NO IMPACT:

The subject parcel is zoned AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) and is not subject to a Williamson Act Contract. According to Policy LU-A.3 of the Fresno County General Plan, certain non-agricultural uses are allowed in areas designated as Agricultural subject to a discretionary permit. Per the Fresno County Zoning Ordinance, the discretionary permit is an Unclassified Conditional Use Permit. Based on the General Plan Policy and use permitted subject to an Unclassified Conditional Use Permit, there will be no conflict with the existing agricultural zoning.

- C. Conflict with existing zoning for forest land, timberland or timberland zoned Timberland Production; or
- D. Result in the loss of forest land or conversion of forest land to non-forest use?

FINDING: NO IMPACT:

The project site is not located on or near forest land, timberland, or timberland zoned Timberland Production. Therefore no conflict with forest land, timberland, or timberland zoned Timberland Production is seen and the project will not result in the lost of forest land or conversion of forest land to non-forest use.

- E. Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland to non-agricultural use or conversion of forest land to non-forest use?

FINDING: NO IMPACT:

The subject parcel is utilized for residential use and is not being used for farmland or forest land. The project will not result in conversion of farmland to non-agricultural use or conversion of forest land to non-forest use.

III. AIR QUALITY

Where available, the significance criteria established by the applicable air quality management district or air pollution control district may be relied upon to make the following determinations. Would the project:

- A. Conflict with or obstruct implementation of the applicable Air Quality Plan; or

- B. Would the project result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under a Federal or State ambient air quality standard; or
- C. Expose sensitive receptors to substantial pollutant concentrations?

FINDING: LESS THAN SIGNIFICANT IMPACT:

Temporary increases in criteria pollutants could occur during project construction. As there are two residences on the subject parcel, they could temporarily be exposed to pollutants during construction of the project. Once construction is complete, the proposed telecommunications facility will not produce criteria pollutants that would expose sensitive receptors. Additionally, operation of the project proposal will not conflict with or obstruct implementation of the applicable Air Quality Plan. Although there will be a temporary increase in criteria pollutants during construction, long-term operation of the facility will not produce pollutants that would have a detrimental effect on sensitive receptors, therefore, staff believes that the project will have a less than significant impact.

- D. Result in other emissions (such as those leading to odors) adversely affecting a substantial number of people?

FINDING: LESS THAN SIGNIFICANT IMPACT:

Emissions from project construction could have an impact on people in the vicinity of the project site, but construction will be temporary. Ongoing operation of the proposed use will not result in emissions that could adversely affect people in the project vicinity.

IV. BIOLOGICAL RESOURCES

Would the project:

- A. Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special-status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?

FINDING: NO IMPACT:

According to the California Natural Diversity Database (CNDDDB), there are no reported occurrences of any special status species on or in the vicinity of the project site. The project site is located on a parcel that has been improved with multiple buildings for human occupation. Additionally, the surrounding land is being utilized for agricultural purposes, which experiences human disturbance on a daily basis. Based on the proposed location of the cell tower and daily human disturbance, no impact is seen on any special status species.

- B. Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service; or
- C. Have a substantial adverse effect on state or federally-protected wetlands (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?

FINDING: NO IMPACT:

No riparian habitat or other sensitive natural community has been identified on or near the project site. According to the National Wetlands Inventory, there are no identified wetlands that could be affected by the proposal. Photos provided by the Applicant do not show any wetland characteristics that would suggest the presence of a wetland.

- D. Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?

FINDING: NO IMPACT:

The project site is located towards the rear of the property that is being utilized for residential purposes. The project will not interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native residents. No migratory wildlife corridors or wildlife nursery sites have been identified on or near the project site.

- E. Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance; or
- F. Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state Habitat Conservation Plan?

FINDING: NO IMPACT:

The project will not conflict with any local policies or ordinances protecting biological resources and will not conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or any other approved local, regional, or state Habitat Conservation Plan.

V. CULTURAL RESOURCES

Would the project:

- A. Cause a substantial adverse change in the significance of a historical resource pursuant to Section 15064.5; or

- B. Cause a substantial adverse change in the significance of an archaeological resource pursuant to Section 15064.5; or
- C. Disturb any human remains, including those interred outside of formal cemeteries?

FINDING: LESS THAN SIGNIFICANT IMPACT WITH MITIGATION INCORPORATED:

The project site has been improved with two single-family residences and multiple accessory structures. Based on the existing improvements, ground disturbance has already occurred on the project site. In the event that cultural resources are unearthed during project construction, a Mitigation Measure will be implemented to address any cultural resource found during construction or deconstruction of the project.

* **Mitigation Measure(s)**

1. *In the event that cultural resources are unearthed during ground-disturbing activities, all work shall be halted in the area of the find. An Archeologist shall be called to evaluate the findings and make any necessary mitigation recommendations. If human remains are unearthed during ground-disturbing activities, no further disturbance is to occur until the Fresno County Sheriff-Coroner has made the necessary findings as to origin and disposition. All normal evidence procedures should be followed by photos, reports, videos, etc. If such remains are determined to be Native American, the Sheriff-Coroner must notify the Native American Commission within 24 hours.*

VI. ENERGY

Would the project:

- A. Result in potentially significant environmental impact due to wasteful, inefficient, or unnecessary consumption of energy resources, during project construction or operation; or
- B. Conflict with or obstruct a state or local plan for renewable energy or energy efficiency?

FINDING: LESS THAN SIGNIFICANT IMPACT WITH MITIGATION INCORPORATED:

The project will be built to current California Building Code standards to meet state energy efficiency plans. The project is not expected to result in potentially significant environmental impacts due to wasteful, inefficient, or unnecessary consumption of energy resources during project operation. A Mitigation Measure will be incorporated with the project to reduce the potential for wasteful or inefficient consumption of energy resources during project construction. The idling of onsite vehicles and equipment will be avoided to the most possible extent to avoid wasteful or inefficient energy consumption during the construction of the project.

* **Mitigation Measure(s)**

1. *The idling of onsite vehicles and equipment will be avoided to the most possible extent to avoid wasteful or inefficient energy consumption during the construction of the project.*

VII. GEOLOGY AND SOILS

Would the project:

- A. Directly or indirectly cause potential substantial adverse effects, including the risk of loss, injury, or death involving:

1. Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault?

FINDING: NO IMPACT:

According to the Earthquake Zone Application administered by the California Department of Conservation and Figure 9-2 of the Fresno County General Plan Background Report (FCGPBR), the project site is not located on a known earthquake fault or rupture of a known earthquake fault.

2. Strong seismic ground shaking?

3. Seismic-related ground failure, including liquefaction?

FINDING: NO IMPACT:

According to Figure 9-5 of the FCGPBR, the project site is not located on or near identified probabilistic seismic hazard areas.

4. Landslides?

FINDING: NO IMPACT:

According to Figure 9-6 of the FCGPBR, the project site is not located near any identified landslide hazard areas. The project site is located in flat agricultural land.

- B. Result in substantial soil erosion or loss of topsoil?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project proposes to construct a cell tower and ground related equipment. The ground related equipment will be built on top of a new concrete pad therefore reducing topsoil for the parcel. Planning of the lease area also shows additional space for colocation equipment if pursued reducing topsoil further. Although topsoil is lost from the proposal, the loss of topsoil is not substantial and is only a small portion of the subject parcel which is a less than significant impact.

- C. Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction, or collapse?

FINDING: NO IMPACT:

No geologic unit or soil has been identified to be unstable or would become unstable as a result of the project. Multiple improvements have already been built on the property to suggest that the soil is stable to support the project. The project will be built to current building code standards that can take into account soil conditions.

- D. Be located on expansive soil as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial direct or indirect risks to life or property?

FINDING: NO IMPACT:

According to Figure 7-1 of the Fresno County General Plan Background Report (FCGPBR), the project site is not located on any identified expansive soils.

- E. Have soils incapable of adequately supporting the use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?

FINDING: NO IMPACT:

The project is not proposing the use of septic tanks or alternative waste water disposal systems. The facility will be unmanned and will have a maintenance worker visit the site at least once a month.

- F. Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?

FINDING: NO IMPACT:

No paleontological resource or unique geologic feature has been identified on the project site. The subject parcels have been improved with single-family residences and accessory buildings. Past ground-disturbing activities indicate that no paleontological or geological resource is present on the project site.

VIII. GREENHOUSE GAS EMISSIONS

Would the project:

- A. Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment; or

- B. Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project proposal is not expected to generate greenhouse gas emissions that could have a significant impact on the environment. Daily operation of the proposal will not generate greenhouse gas emissions that will have a significant impact. A backup generator is being proposed in case of an emergency to maintain service. Although the generator will produce emissions, the generator is there only to provide backup power and will not run continuously. The project will have a less than significant impact on greenhouse gas emissions.

IX. HAZARDS AND HAZARDOUS MATERIALS

Would the project:

- A. Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials; or
- B. Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The Department of Public Health, Environmental Health Division has reviewed the subject application and has provided comments related to hazards and hazardous materials.

Facilities proposing to use and/or store hazardous materials and/or hazardous wastes shall meet the requirements set forth in the California Health and Safety Code (HSC), Division 20, Chapter 6.95, and the California Code of Regulations (CCR), Title 22, Division 4.5. Any business that handles a hazardous material or hazardous waste may be required to submit a Hazardous Materials Business Plan pursuant to the HSC, Division 20, Chapter 6.95.

All hazardous waste shall be handled in accordance with requirements set forth in the California Code of Regulations (CCR), Title 22, Division 4.5. This Division discusses proper labeling, storage and handling of hazardous wastes.

- C. Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?

FINDING: NO IMPACT:

The project site is not located within one-quarter mile of an existing or proposed school.

- D. Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?

FINDING: NO IMPACT:

According to a NEPAAssist report produced for the project site, there are no hazardous materials sites on or near the project location.

- E. For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard or excessive noise for people residing or working in the project area?

FINDING: NO IMPACT:

The project site is not located within two miles of a public airport or public use airport.

- F. Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?

FINDING: NO IMPACT:

The project will not physically interfere with an adopted emergency response plan or emergency evacuation plan. Reviewing agencies did not express concerns to indicate that the project would interfere with an adopted emergency response plan or emergency evacuation plan.

- G. Expose people or structures, either directly or indirectly, to a significant risk of loss, injury or death involving wildland fires?

FINDING: LESS THAN SIGNIFICANT IMPACT:

According to the 2007 Fire Hazard Severity Zones in LRA adopted by the California Department of Forestry and Fire Protection (CalFire), the project site is not located in a fire hazard severity zone. Additionally, the Fresno County Fire Protection District (FCFPD) has provided comments on the subject application that do not indicate a significant risk of wildland fire hazard. The project shall comply with California Code of Regulations Title 24 – Fire Code and project/development will be subject to the requirements of the current Fire Code and Building Code when a building permit or certificate of occupancy is sought. The project proposed for an unmanned wireless telecommunication facility therefore reducing exposure of people at the project site.

X. HYDROLOGY AND WATER QUALITY

Would the project:

- A. Violate any water quality standards or waste discharge requirements or otherwise substantially degrade surface or ground water quality; or
- B. Substantially decrease groundwater supplies or interfere substantially with groundwater recharge such that the project may impede sustainable groundwater management of the basin?

FINDING: NO IMPACT:

The project proposes an unmanned wireless telecommunications facility and will not utilize water as part of its operation. The project will not violate any water quality standards or waste discharge requirements and will not substantially decrease groundwater supplies or interfere with groundwater recharge.

- C. Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river or through the addition of impervious surfaces, in a manner which would result in substantial erosion or siltation on or off site?
 - 1. Result in substantial erosion or siltation on- or off-site;
 - 2. Substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or offsite?
 - 3. Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff; or
 - 4. Impede or redirect flood flows?

FINDING: LESS THAN SIGNIFICANT IMPACT:

According to U.S.G.S. Quad Maps, there are no existing natural drainage channels traversing the subject parcel. The project site is also not located in a flood zone, therefore the project will not impeded or redirect flood flows. As new construction is involved, the project may increase surface runoff. The project will be subject to County Standards, which require that drainage of the project not drain across property. The project will not substantially increase the amount of surface runoff in a manner which would result in flooding on- or off-site.

- D. In flood hazard, tsunami, or seiche zones, risk release of pollutants due to project inundation?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project site is not located in a flood zone, but according to Figure 9-8 of the Fresno County General Plan Background Report (FCGPBR), the project site is located in a dam failure flood inundation area. Although located in a flood inundation area, the project proposes an unmanned facility with minimal hazardous materials onsite. Risk of

release of pollutants is less than significant based on project proposal and storage of materials onsite. The project is not located near a body of water that would indicate tsunami or seiche zone risks.

- E. Conflict with or obstruct implementation of a water quality control plan or sustainable groundwater management plan?

FINDING: NO IMPACT:

The project will not conflict with or obstruct implementation of a water quality control plan or sustainable groundwater management plan.

XI. LAND USE AND PLANNING

Would the project:

- A. Physically divide an established community?

FINDING: NO IMPACT:

The project will not physically divide an established community.

- B. Cause a significant environmental impact due to a conflict with any land use plan, policy, or regulation adopted for the purpose of avoiding or mitigating an environmental effect?

FINDING: LESS THAN SIGNIFICANT IMPACT:

Policy PF-J.4 of the Fresno County General Plan requires compliance with the Fresno County Wireless Communications Guidelines for siting of communication towers in unincorporated areas of the County. One key issue of the Wireless Communications Guidelines is for new towers. Applicants are required to submit evidence regarding alternative sites being considered for colocation opportunities and evidence of due diligence on negotiating for colocation. Additional guidelines are related to placement and aesthetics of the tower.

The Applicant has submitted an Alternative Site Analysis and explanation for the new tower. An old tower is set to be decommissioned and the Applicants would like to replace the tower on a difference property to ensure coverage throughout the project area. The Alternative Site Analysis also stated that the only other available tower in the vicinity that would meet coverage needs is a guyed wire tower that the Applicant has concerns regarding structural issues when collocating their equipment. The proposed tower will be located on a residential parcel and located at the rear (southwest edge) of the property minimizing aesthetic impacts.

XII. MINERAL RESOURCES

Would the project:

- A. Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state; or
- B. Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local General Plan, Specific Plan or other land use plan?

FINDING: LESS THAN SIGNIFICANT IMPACT:

According to Figure 7-7 of the Fresno County General Plan Background Report (FCGPBR), the project site may be located on or near identified oil field resources. Based on current conditions of the project site and the footprint of the project site, the proposal is not expected to adversely impact identified mineral resources that may occur on or near the project area.

XIII. NOISE

Would the project result in:

- A. Generation of a substantial temporary or permanent increase in ambient noise levels in the vicinity of the project in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies; or
- B. Generation of excessive ground-borne vibration or ground-borne noise levels?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The Department of Public Health, Environmental Health Division (EHD) commented that the proposed construction and operation of the project has the potential to expose nearby residents to short-term elevated noise levels and that consideration should be given to the County of Fresno Noise Ordinance Code. The project is not expected to generate substantial permanent increase in ambient noise levels or generate excessive ground-borne vibration or ground-borne noise levels. A temporary increase from project construction and a slight increase in noise will occur from project construction and operation, but will have a less than significant impact.

- C. For a project located within the vicinity of a private airstrip or an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels; or

FINDING: NO IMPACT:

The project site is not located within two miles of a public airport or public use airport.

XIV. POPULATION AND HOUSING

Would the project:

- A. Induce substantial unplanned population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?; or
- B. Displace substantial numbers of existing people or housing, necessitating the construction of replacement housing elsewhere?

FINDING: NO IMPACT:

The project will not induce substantial unplanned population growth nor displace substantial numbers of existing people or housing. The project site is located at the rear of the subject parcel and is not requiring the relocation of housing or people on the property.

XV. PUBLIC SERVICES

Would the project:

- A. Result in substantial adverse physical impacts associated with the provision of new or physically-altered governmental facilities, or the need for new or physically-altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services?
 - 1. Fire protection;
 - 2. Police protection;
 - 3. Schools;
 - 4. Parks; or
 - 5. Other public facilities?

FINDING: NO IMPACT:

The Fresno County Fire Protection District (FCFPD) has provided comments on the project and did not express concerns with the project to indicate that the proposal will adversely impact their level of service. No other reviewing Agency expressed concerns to indicate that the project will significantly impact the provision of new facilities or level of service.

XVI. RECREATION

Would the project:

- A. Increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated; or
- B. Include recreational facilities or require the construction or expansion of recreational facilities, which might have an adverse physical effect on the environment?

FINDING: NO IMPACT:

The project will not result in increased use of existing neighborhood and regional parks such that substantial physical deterioration of the facility would occur or be accelerated. Additionally, the project will not require the construction or expansion of recreational facilities, which might have an adverse physical effect on the environment.

XVI. TRANSPORTATION

Would the project:

- A. Conflict with a program, plan, ordinance or policy addressing the circulation system, including transit, roadway, bicycle and pedestrian facilities; or
- B. Would the project conflict or be inconsistent with CEQA Guidelines section 15064.3, subdivision (b)?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project intends to replace an existing tower on a different property. Based on the intention, the project is not likely to increase vehicle miles traveled significantly, as the project will be located approximately 0.30 miles from the existing tower. A less than significant impact is seen as the project will increase vehicle miles traveled minimally and is not conflicting with or being inconsistent with CEQA Guidelines Section 15064.3, subdivision (b). The project does not conflict with a program, plan, ordinance, or policy addressing the circulation system. The project is for an unmanned wireless telecommunications facility and will only require up to two maintenance visits a month. As an existing tower is located in the vicinity of the project site, the change in location of the existing tower to the proposed site will not significantly impact the circulation system or be inconsistent with CEQA Guidelines.

- C. Substantially increase hazards due to a geometric design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?; or
- D. Result in inadequate emergency access?

FINDING: NO IMPACT:

The project proposes to take access off an existing driveway from Elm Avenue that services the existing residential units on the property. A twelve-foot access easement will be constructed from the existing driveway to the project site. No hazards from the

design of the project's access way has been identified on the project site. The project will not result in inadequate emergency access. No reviewing Agencies/Departments have expressed concerns that indicate that the project design is dangerous or will result in inadequate emergency access.

XVIII. TRIBAL CULTURAL RESOURCES

Would the project:

- A. Would the project cause a substantial adverse change in the significance of a tribal cultural resource, defined in Public Resources Code section 21074 as either a site, feature, place, cultural landscape that is geographically defined in terms of the size and scope of the landscape, sacred place, or object with cultural value to a California Native American tribe, and that is:
1. Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code section 5020.1(k), or
 2. A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Public Resources Code Section 5024.1. In applying the criteria set forth in subdivision (c) of Public Resource Code Section 5024.1, the lead agency shall consider the significance of the resource to a California Native American tribe?

FINDING: LESS THAN SIGNIFICANT IMPACT WITH MITIGATION INCORPORATED:

Per California Assembly Bill 52 (AB52), participating California Native American Tribes were notified of the project and given the opportunity to enter into consultation with the County of Fresno. No participating California Native American Tribe expressed concerns with the project to indicate that a Tribal Cultural Resource (TCR) was present on or near the project site. In the event that a TCR is identified on the project site, a Mitigation Measure will be implemented so that TCR's are adequately addressed.

* **Mitigation Measure(s)**

1. See Section V.A.,B, and C., Mitigation Measure 1.

XIX. UTILITIES AND SERVICE SYSTEMS

Would the project:

- A. Require or result in the relocation or construction of new or expanded water, wastewater treatment or storm water drainage, electric power, natural gas, or telecommunications facilities, the construction or relocation of which could cause significant environmental effects?

FINDING: LESS THAN SIGNIFICANT IMPACT:

New electrical connections are being proposed for the subject application, but will not require the relocation or construction of electrical supply facilities. The project will not result in the construction of new or expanded water, wastewater treatment, storm water drainage or natural gas. An existing telecommunications facility is located approximately 0.30 miles south of the proposed site. The project proposes to construct a new tower and decommission the existing tower.

- B. Have sufficient water supplies available to serve the project and reasonably foreseeable future development during normal, dry and multiple dry years; or
- C. Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?

FINDING: NO IMPACT:

The project proposes an unmanned facility and will not require the use of water or construction of wastewater treatment systems. Based on this, the project will not have an impact on water supplies and will not be served by a wastewater treatment system.

- D. Generate solid waste in excess of State or local standards, or in excess of the capacity of local infrastructure, or otherwise impair the attainment of solid waste reduction goals; or
- E. Comply with federal, state, and local management and reduction statutes and regulations related to solid waste?

FINDING: NO IMPACT:

The project is for an unmanned wireless telecommunications facility and will not generate solid waste in excess of State or local standards. The project will comply with federal, state, and local management and reduction statutes and regulations related to solid waste.

XX. WILDFIRE

If located in or near state responsibility areas or lands classified as very high fire hazard severity zones, would the project:

- A. Substantially impair an adopted emergency response plan or emergency evacuation plan, or telecommunications facilities, the construction or relocation of which could cause significant environmental effects; or
- B. Due to slope, prevailing winds, and other factors, exacerbate wildfire risks, and thereby expose project occupants to, pollutant concentrations from a wildfire or the uncontrolled spread of a wildfire; or

- C. Require the installation or maintenance of associated infrastructure (such as roads, fuel breaks, emergency water sources, power lines or other utilities) that may exacerbate fire risk or that may result in temporary or ongoing impacts to the environment; or
- D. Expose people or structures to significant risks, including downslope or downstream flooding or landslides, as a result of runoff, post-fire slope instability, or drainage changes?

FINDING: NO IMPACT:

According to the 2007 Fire Hazard Severity Zones in Local Responsibility Areas map from the California Department of Forestry and Fire Protection, the project site is located in a Local Responsibility Area (LRA) and is not in lands classified as very high fire hazard severity zones.

XXI. MANDATORY FINDINGS OF SIGNIFICANCE

Would the project:

- A. Have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, substantially reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?

FINDING: LESS THAN SIGNIFICANT IMPACT WITH MITIGATION INCORPORATED:

Impacts to Cultural Resources and Tribal Cultural Resources will be less than significant with mitigation incorporated. There are no impacts to Biological Resources and reviewing agencies did not express concern to indicate the presence of special status species. The project will not substantially degrade the quality of the environment or substantially reduce the habitat of fish or wildlife species.

- B. Have impacts that are individually limited, but cumulatively considerable? (“Cumulatively considerable” means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)?

FINDING: LESS THAN SIGNIFICANT IMPACT WITH MITIGATION INCORPORATED:

Cumulative impacts identified in the analysis were related to Aesthetics, Cultural Resources, Energy, and Tribal Cultural Resources. These impacts will be reduced to a less than significant impact with incorporated Mitigation Measures discussed in Section 1.D., Section V.A., B., and C., Section VI.A and B., and Section XVIII.A.1., and 2.

- C. Have environmental effects, which will cause substantial adverse effects on human beings, either directly or indirectly?

FINDING: NO IMPACT:

No substantial impacts on human beings, either directly or indirectly, were identified in the project analysis.

CONCLUSION/SUMMARY

Based upon the Initial Study prepared for 7611 and Unclassified Conditional Use Permit Application No. 3648, staff has concluded that the project will not have a significant effect on the environment. It has been determined that there would be no impacts to Biological Resources, Population and Housing, Public Services, Recreation, and Wildfire.

Potential impacts related to Agricultural and Forestry Resources, Air Quality, Geology and Soils, Greenhouse Gas Emissions, Hazards and Hazardous Materials, Hydrology and Water Quality, Land Use Planning, Mineral Resources, Noise, Transportation, and Utilities and Service Systems have been determined to be less than significant. Potential impacts relating to Aesthetics, Cultural Resources, Energy, and Tribal Cultural Resources have determined to be less than significant with compliance with incorporated Mitigation Measures.

A Mitigated Negative Declaration is recommended and is subject to approval by the decision-making body. The Initial Study is available for review at 2220 Tulare Street, Suite A, street level, located on the southwest corner of Tulare and "M" Street, Fresno, California.

TK

G:\4360Devs&PIn\PROJSEC\PROJDOCS\CUP\3600-3699\3648\IS-CEQA\CUP 3648 IS Writeup.docx

File original and one copy with: Fresno County Clerk 2221 Kern Street Fresno, California 93721		Space Below For County Clerk Only. CLK-2046.00 E04-73 R00-00	
Agency File No: IS 7611 CUP 3648	LOCAL AGENCY PROPOSED MITIGATED NEGATIVE DECLARATION		County Clerk File No: E-
Responsible Agency (Name): Fresno County	Address (Street and P.O. Box): 2220 Tulare St. Sixth Floor	City: Fresno	Zip Code: 93721
Agency Contact Person (Name and Title): Thomas Kobayashi Planner	Area Code: 559	Telephone Number: 600-4224	Extension: N/A
Project Applicant/Sponsor (Name): Jason Osborne, Beacon Development on behalf of Crown Castle	Project Title: Unclassified Conditional Use Permit Application No. 3648		
Project Description: Allow construction of a new unmanned wireless telecommunication facility consisting of a 150-foot lattice tower with associated antennas and equipment on a 40-foot by 50-foot fenced compound on a 1.45-acre parcel in the AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District.			
Justification for Negative Declaration: Based upon the Initial Study prepared for 7611 and Unclassified Conditional Use Permit Application No. 3648, staff has concluded that the project will not have a significant effect on the environment. It has been determined that there would be no impacts to Biological Resources, Population and Housing, Public Services, Recreation, and Wildfire. Potential impacts related to Agricultural and Forestry Resources, Air Quality, Geology and Soils, Greenhouse Gas Emissions, Hazards and Hazardous Materials, Hydrology and Water Quality, Land Use Planning, Mineral Resources, Noise, Transportation, and Utilities and Service Systems have been determined to be less than significant. Potential impacts relating to Aesthetics, Cultural Resources, Energy, and Tribal Cultural Resources have been determined to be less than significant with compliance with incorporated Mitigation Measures. A Mitigated Negative Declaration is recommended and is subject to approval by the decision-making body. The Initial Study is available for review at 2220 Tulare Street, Suite A, street level, located on the southwest corner of Tulare and "M" Street, Fresno, California.			
FINDING: The proposed project will not have a significant impact on the environment.			
Newspaper and Date of Publication: Fresno Business Journal – September 9, 2019		Review Date Deadline: Planning Commission – October 10, 2019	
Date:	Type or Print Signature: Marianne Mollring Senior Planner	Submitted by (Signature): Thomas Kobayashi Planner	

State 15083, 15085

County Clerk File No.: _____

**LOCAL AGENCY
MITIGATED NEGATIVE DECLARATION**

ATTACHMENT C

Natalie Clark
16725 S. Elm Ave
Caruthers, CA 93609

Thomas Kobayashi
Department of Public Works and Planning
2220 Tulare Street
Fresno, CA 93721

October 9, 2019

Re: Unclassified Conditional Use Permit No. 3648 & Initial Study App. No. 7611

Dear Mr. Kobayashi,

I write to you today because I am opposed to the construction of a 150 foot tall Cell Tower only 500 feet from my property.

When I purchased my property over twenty years ago I was aware of the existing Cell Tower which stands today. The existing Tower is over 1,134 feet from my home. The applicant proposes to move that tower so that it is only 500 feet from my home.

This cell tower, at 150 feet tall, is much larger than anything in an urban area. The detrimental effect on my property value is obvious. I will lose tens of thousands of dollars in value of my home.

The existing cell tower is much further away and has been standing for 25 years. To move the tower next to my home is ridiculous. The applicant wants to relocate the tower on a property with three residences and much closer to my property. It does not make any sense. Why would you approve that?

I've enclosed photographs from a Google satellite view of the relative distance of my home from the existing Cell Tower and the proposed site.

The approval of this Conditional Use Permit violates my constitutional rights. Fresno County would be taking the value of my property without just compensation.

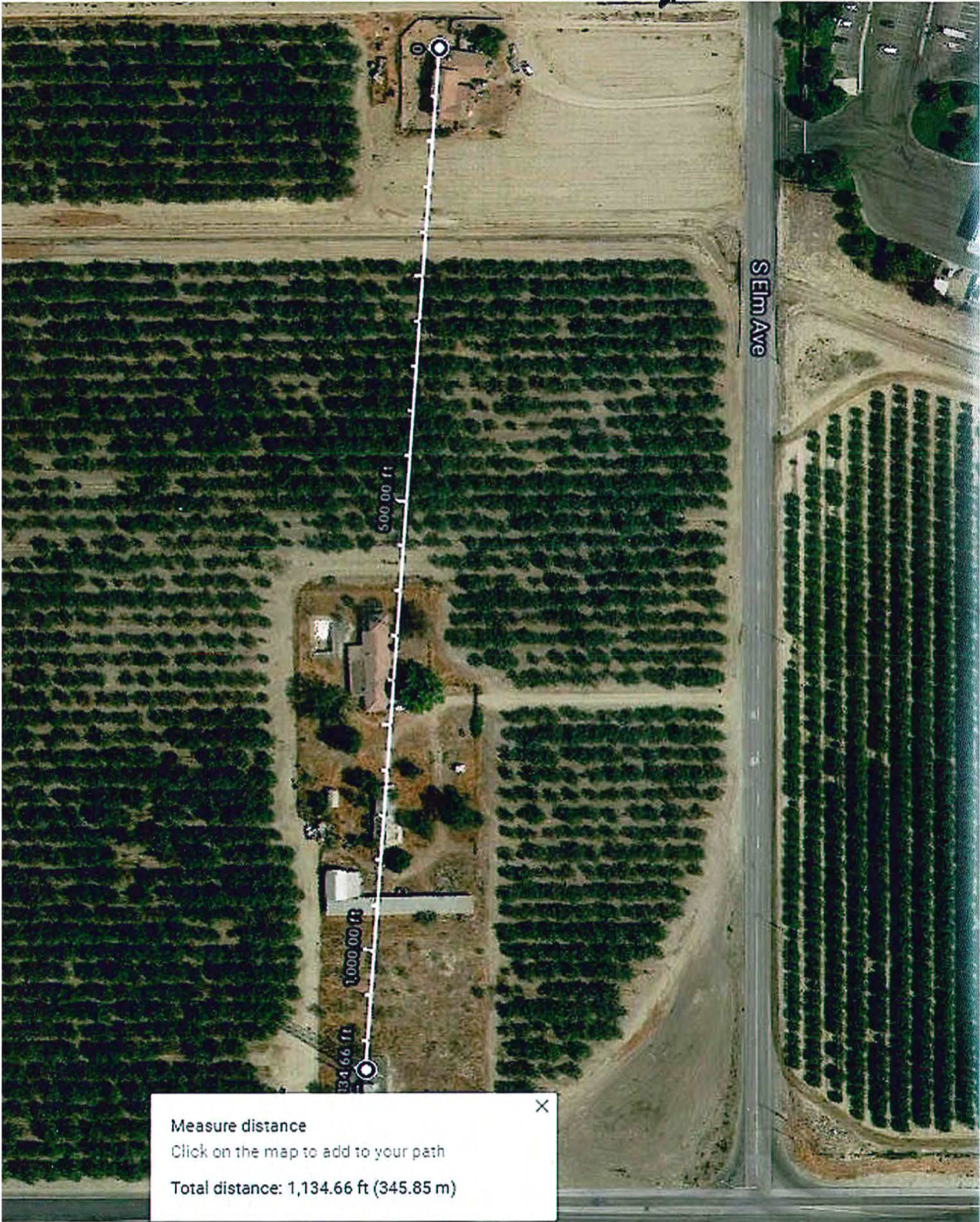
Please do not grant this applicant a Conditional Use Permit to build this tower adjacent to my home.

Sincerely,


Natalie Clark
Enclosures

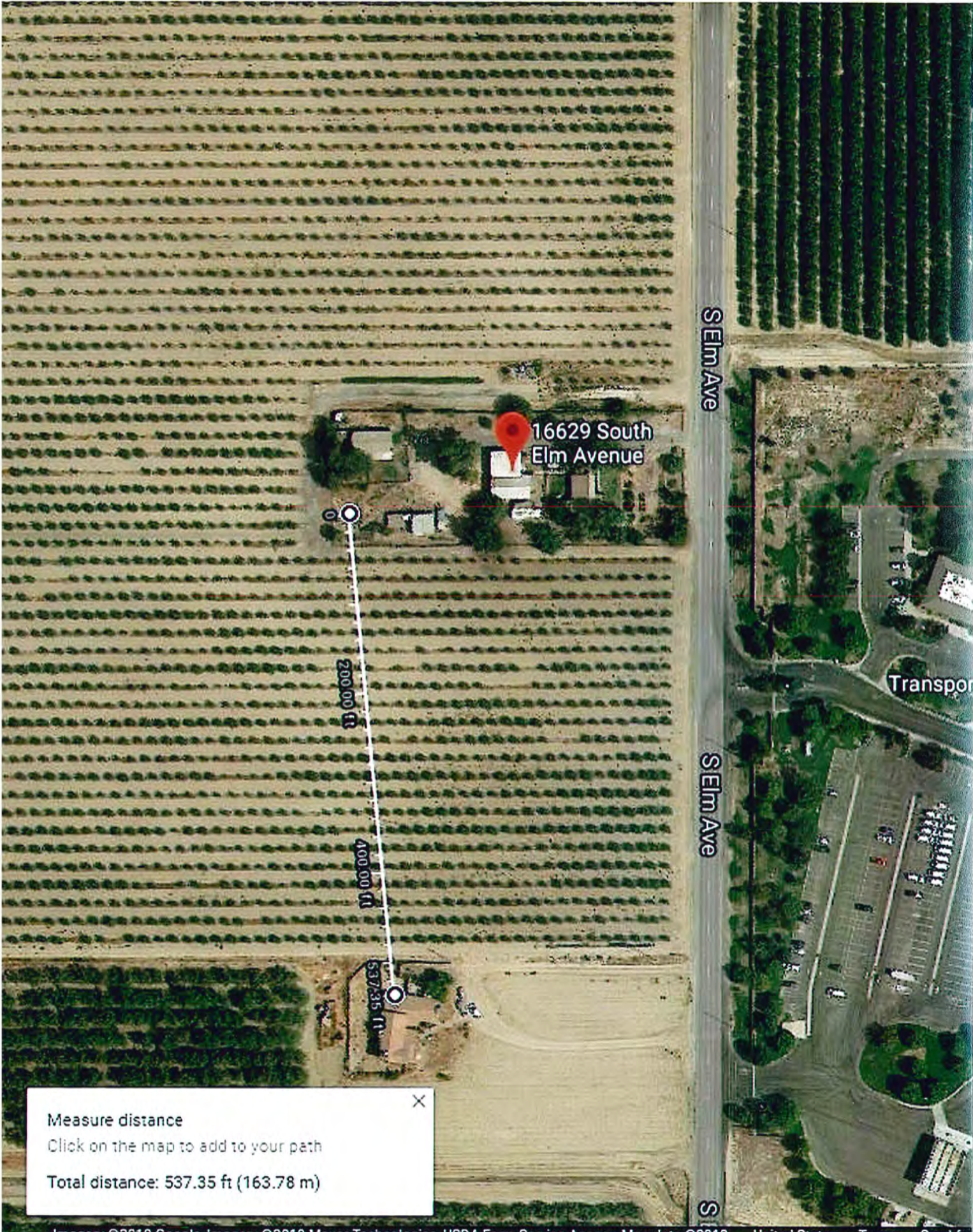
RECEIVED
COUNTY OF FRESNO
OCT 09 2019
DEPARTMENT OF PUBLIC WORKS
AND PLANNING
DEVELOPMENT SERVICES DIVISION

Distance to Existing Tower



Measure distance ✕
Click on the map to add to your path
Total distance: 1,134.66 ft (345.85 m)

Distance to New Tower



Measure distance
Click on the map to add to your path
Total distance: 537.35 ft (163.78 m)

Ted Miller's statement before the Fresno County Planning Commission on October 10, 2019

My name is Ted Miller and I live at 16891 S. Elm Ave in Caruthers, CA. This is the parcel that the existing Cell Tower is located on.

In 1994 Fresno County issued a Conditional Use Permit to a company that would eventually become familiar to most of us as Verizon Wireless. They built the existing 150 ft tall Cell Tower and Verizon has been using the facility since 1994 (or early 1995, due to construction delays). Verizon negotiated a 5 year lease with 4 ca. 5 year extensions, for a total of 25 years, with Adrian Acosta who owned the farmland and raised Almonds. The 25 year lease expired at midnight on October 1, 2019, nine days ago.

In 1999 Verizon formed a Joint Venture with Crown Castle. Verizon contributed the leases to 2,300 Cell Towers, including the one on Adrian Acosta's farm in Caruthers. Crown Castle contributed Cash and Crown Castle stock. Under the terms of this joint venture Crown Castle was assigned the lease. The minutiae of the financial transaction becomes complicated by corporate structures and such. It is easiest to think of the arrangement this way: Verizon sold it's leases to Crown Castle and agreed to pay Crown Castle to lease the Cell sites. They agreed to pay Crown Castle more in monthly payments than Crown Castle was required to pay the landowners (like Adrian Acosta). Crown Castle kept the difference. When the lease ended Adrian Acosta's trust was being paid \$1,340 per month. I estimate that Crown Castle was being paid \$3,800 per month. Crown Castle's monthly profit was \$2,460, a yearly profit of \$29,520.

Very soon after Crown Castle acquired the lease a representative approached Adrian Acosta regarding the lease. He said that Crown Castle was losing money on the Cell Tower on Adrian's property and that they wanted Adrian to reduce the rent so Crown Castle could afford to keep the Tower on his property. If he did not reduce the rent, Crown Castle would remove the tower. After careful consideration, Adrian declined to lower the rent and Crown Castle never removed the Cell Tower.

Adrian Acosta passed away in November, 2005 from cancer. The property is now owned by his widow, Mollie Acosta.

Mollie Acosta has been negotiating with Crown Castle for years regarding the Cell Tower on her property. Crown Castle has been unwilling to increase the rent to market rates. Ms. Acosta's latest proposal was in July, 2018. As I mentioned above, the lease expired on October 1, 2019.

The proposed "New" Cell Tower location is inferior in many ways to the existing Cell Tower location at 82 W. Elkhorn Ave. The closest home to the existing Tower is Ms. Acosta's

ATTACHMENT C

residence, and it is approximately 500 feet north. The next closest residence is 224 W. Elkhorn, and that residence is 765 feet away. The "New" location under consideration today has a mobile home approximately 85 feet away, an occupied RV trailer 190 feet away, Iva Arthur's residence is 260 feet away and Natalie Clark's residence is 470 feet away. All of these residences, 3 on the subject parcel and 1 a neighboring residence, are closer than the closest residence to the existing tower. In addition, Southwest Transportation (a school bus and Information Technology JPA serving area schools) is across the street, about 700 feet away.

In August of 2018 this body approved Condition Permit Application 3615. Like this application, Crown Castle sought to move a Firebaugh Cell Tower a short distance. That was about 14 months ago. As of Sunday Afternoon, October 6, 2019 no construction work has been done, there is no sign of any planning or work being done, and the existing Cell Tower has not been moved.

I believe Crown Castle's motivation for seeking this CUP is to use it to threaten landowners with moving the Cell Tower off of their property. I also believe they never intend and never would move a Cell Tower. Verizon does not move Cell Towers unless they have to (like for High Speed Rail). It costs more to move a Cell Tower than it costs to build a new Cell Tower, about \$550-750K. If Crown Castle moved the existing Cell Tower for \$550K they would save about \$18K/year. At that rate it would take 30 years to pay back the \$550K cost. That is not a rational course of action and that is why Crown Castle will not move the existing Cell Tower.

One must also note that Crown Castle's lease expired 9 days ago. They have no right to trespass on Ms. Acosta's land, much less to bring in the equipment needed to dismantle a 150 foot tall Cell Tower.

For these reasons and others I respectfully request the Fresno County Planning commission deny the request for Conditional Use Permit No. 3648. This permit seeks to move the tower to an inferior location, it will negatively impact residents and Southwest Transportation, and it is being sought strictly to gain an negotiation advantage over Adrian Acosta's widow.

Respectfully submitted,

A handwritten signature in black ink, appearing to read "Ted Miller", with a long horizontal flourish underneath.

Ted Miller
BSEE, MBA



RECEIVED
OCT 25 2019

CLERK. BOARD OF SUPERVISORS

For Office Use Only	
Date received:	10/25/19
Copied to:	Ketter malle, Mallig Robinson
Date copy sent:	10/25/19
Hearing set for:	

NOTICE OF APPEAL OF PLANNING COMMISSION DECISION

Date: October 23, 2019

Appeal Fee: \$508 – Due when filing appeal

APPELLANT FILL IN BELOW THIS LINE, THIS SIDE ONLY – PLEASE PRINT OR TYPE

Project Site Address

16629	S. Elm Avenue	Caruthers	93609	042-200-06S
Number	Street	City	Zip	Assessor's Parcel Number

Appellant's Information

Name: Crown Castle

Mailing Address: c/o Parker Legal Group
600 West Broadway, Suite 700, San Diego, CA 92101

Telephone: (619) 930-9821

Applicant's Information (check if same as Appellant)

Name: _____

Mailing Address: _____

Telephone: _____

Subject of Appeal

I wish to appeal the Planning Commission's decision to Approve Deny

Variance Application No.* _____

Conditional Use Permit No. 3648

Director Review and Approval Application No. _____

Tentative Tract Application No. _____

Amendment Application No. _____

Amendment to Text Application No. _____

Other: _____

Date of Planning Commission Action October 10, 2019

Reason(s) for Appeal (Attach additional sheets if necessary)

The decision of the Planning Commission was based on factual errors in the interpretation of the Fresno County Zoning Ordinance requirements as they apply to the project. The findings for denial of the permit are not supported, and Applicant can make each of the findings required by Fresno County Zoning Ordinance, Section 873-F. Additionally, federal law requires approval because denial of the permit has the effect of prohibiting the provision of personal wireless services in violation of 47 U.S.C. § 332.


 Appellant's Signature
 Joseph M. Parker, Counsel for Appellant/Applicant

* Fresno County Zoning Ordinance § 877(c) requires that any appellant, other than the applicant, County Department Director, or Board of Supervisors member, must be a property owner within a certain distance from the Variance Application property. The Department of Public Works and Planning will verify that the ordinance requirements are met. If the requirements are not met, the appeal fee will be returned and no date for appeal hearing before the Board of Supervisors will be set.

Please return completed form to Clerk of the Board, 2281 Tulare Street, Room 301, Fresno, CA 93721.

Mitigation Monitoring and Reporting Program
Initial Study Application No. 7611/Unclassified Conditional Use Permit Application No. 3648
(Including Conditions of Approval and Project Notes)

Mitigation Measures						
Mitigation Measure No. *	Impact	Mitigation Measure Language	Implementation Responsibility	Monitoring Responsibility	Time Span	
1.	Aesthetics	All outdoor lighting shall be hooded and directed downward so as not to shine on adjacent properties or public right-of-way.	Applicant	Applicant/Department of Public Works and Planning (PW&P)	Ongoing	
2.	Cultural Resources/ Tribal Cultural Resources	In the event that cultural resources are unearthed during ground-disturbing activities, all work shall be halted in the area of the find. An Archeologist shall be called to evaluate the findings and make any necessary mitigation recommendations. If human remains are unearthed during ground-disturbing activities, no further disturbance is to occur until the Fresno County Sheriff-Coroner has made the necessary findings as to origin and disposition. All normal evidence procedures should be followed by photos, reports, video, etc. If such remains are determined to be Native American, the Sheriff-Coroner must notify the Native American Commission within 24 hours.	Applicant	Applicant/PW&P	During ground-disturbing activities	
3.	Energy	The idling of on-site vehicles and equipment will be avoided to the most possible extent to avoid wasteful or inefficient energy consumption during the construction of the project.	Applicant	Applicant/PW&P	During construction activities	
Conditions of Approval						
1.	Development of the property shall be in accordance with the Site Plan, Flood Plan, Elevations, and Operational Statement approved by the Commission.					
2.	The approval shall expire in the event that use of the tower ceases for a period in excess of two years. At such time, the tower and related facilities shall be removed and the lease area shall be restored as nearly as practical to its original condition. This stipulation shall be recorded as an Agreement. Note: This Department will prepare the Agreement upon receipt of the standard processing fee, which is currently \$243.50.					
3.	The Applicant must apply for and receive a demolition permit, and acquire final inspection of the demolition of the existing tower located on APN: 042-200-35S prior to finalization of the building permits associated with the proposed unmanned wireless telecommunications facility.					

4.	Prior to the issuance of permits, evidence shall be submitted showing provisions have been made to accommodate colocation, such as provision for colocation in a signed lease agreement and additional area within the lease area for colocation of equipment, or other information that demonstrates the facility shall make itself available for colocation.
5.	Prior to the issuance of a building permit, the Applicant shall obtain Federal Aviation Administration (FAA) approval of the tower.
6.	Prior to the issuance of a building permit, the Applicant shall enter into a Covenant acknowledging the Fresno County Right-to-Farm Notice. Fresno County Right-to-Farm Notice: "It is the declared policy of Fresno County to preserve, protect, and encourage development of its agricultural land and industries for the production of food and other agricultural products. Residents of property in or near agricultural district should be prepared to accept the inconveniences and discomfort associated with normal farm activities." Consistent with this policy, California Civil Code 3482.5 (right-to-farm law) provides that an agricultural pursuit, as defined, maintained for commercial uses shall not become a nuisance due to a changed condition in a locality after such agricultural pursuit has been in operation for three years. Note: This Department will prepare the Covenant upon receipt of the standard processing fee, which is currently \$243.50.

*MITIGATION MEASURE – Measure specifically applied to the project to mitigate potential adverse environmental effects identified in the environmental document. Conditions of Approval reference recommended Conditions for the project.

Notes	
The following Notes reference mandatory requirements of Fresno County or other Agencies and are provided as information to the project Applicant.	
1.	Plans, permits, and inspections will be required for all on-site improvements.
2.	Prior to site development, all survey monumentation – Property Corners, Centerline Monumentation, Section Corners, County Benchmarks, Federal Benchmarks, and Triangulation Stations, etc. – within the subject area shall be preserved in accordance with Section 8771 of the Professional Land Surveyors Act and Section 6730.2 of the Professional Engineers Act.
3.	If not already present, 10' x 10' corner cutoffs should be improved for sight distance purposes at the existing driveway onto Elm Avenue.
4.	A grading voucher is required.
5.	Facilities proposing to use and/or store hazardous materials and/or hazardous wastes shall meet the requirements set forth in the California Health and Safety Code (HSC), Division 20, Chapter 6.95, and the California Code of Regulations (CCR), Title 22, Division 4.5. Any business that handles a hazardous material or hazardous waste may be required to submit a Hazardous Materials Business Plan pursuant to the HSC, Division 20, Chapter 6.95. The default State reporting thresholds that apply are: ≥55 gallons (liquids), ≥500 pounds (solids), ≥200 cubic feet (gases), or at the threshold planning quantity for extremely hazardous substances.
6.	All hazardous waste shall be handled in accordance with requirements set forth in the California Code of Regulations (CCR), Title 22, Division 4.5. This Division discusses proper labeling, storage and handling of hazardous wastes.
7.	The proposed construction has the potential to expose residents to short-term elevated noise levels. Considerations should be given to the County of Fresno Noise Ordinance Code.

Notes	
8.	The project shall comply with California Code of Regulations Title 24 – Fire Code. Prior to receiving Fresno County Fire Protection District (FCFPD) conditions of approval, the Applicant must submit construction plans to the Fresno County Department of Public Works and Planning for review. It is the Applicant's responsibility to deliver a minimum of three sets of plans to FCFPD.
9.	Project/Development, including Single-Family Residential (SFR) property of three or more lots, Multi-Family Residential (MFR) property, Commercial property, Industrial property, and/or Office property, shall annex into Community Facilities District No. 2010-01 of the Fresno County Fire Protection District.
10.	Project/Development will be subject to the requirements of the current Fire Code and Building Code when a building permit or certificate of occupancy is sought.

TK:ksn
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ATTACHMENT F

File original and one copy with: Fresno County Clerk 2221 Kern Street Fresno, California 93721		Space Below For County Clerk Only. CLK-2046.00 E04-73 R00-00	
Agency File No: IS 7611 CUP 3648	LOCAL AGENCY PROPOSED MITIGATED NEGATIVE DECLARATION	County Clerk File No: E-	
Responsible Agency (Name): Fresno County	Address (Street and P.O. Box): 2220 Tulare St. Sixth Floor	City: Fresno	Zip Code: 93721
Agency Contact Person (Name and Title): Thomas Kobayashi Planner	Area Code: 559	Telephone Number: 600-4224	Extension: N/A
Project Applicant/Sponsor (Name): Jason Osborne, Beacon Development on behalf of Crown Castle	Project Title: Unclassified Conditional Use Permit Application No. 3648		
Project Description: Allow construction of a new unmanned wireless telecommunication facility consisting of a 150-foot lattice tower with associated antennas and equipment on a 40-foot by 50-foot fenced compound on a 1.45-acre parcel in the AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District.			
Justification for Negative Declaration: Based upon the Initial Study prepared for 7611 and Unclassified Conditional Use Permit Application No. 3648, staff has concluded that the project will not have a significant effect on the environment. It has been determined that there would be no impacts to Biological Resources, Population and Housing, Public Services, Recreation, and Wildfire. Potential impacts related to Agricultural and Forestry Resources, Air Quality, Geology and Soils, Greenhouse Gas Emissions, Hazards and Hazardous Materials, Hydrology and Water Quality, Land Use Planning, Mineral Resources, Noise, Transportation, and Utilities and Service Systems have been determined to be less than significant. Potential impacts relating to Aesthetics, Cultural Resources, Energy, and Tribal Cultural Resources have been determined to be less than significant with compliance with incorporated Mitigation Measures. A Mitigated Negative Declaration is recommended and is subject to approval by the decision-making body. The Initial Study is available for review at 2220 Tulare Street, Suite A, street level, located on the southwest corner of Tulare and "M" Street, Fresno, California.			
FINDING: The proposed project will not have a significant impact on the environment.			
Newspaper and Date of Publication: Fresno Business Journal – September 9, 2019		Review Date Deadline: Board of Supervisors – January 7, 2020	
Date:	Type or Print Signature: Marianne Mollring Senior Planner	Submitted by (Signature): Thomas Kobayashi Planner	

State 15083, 15085

County Clerk File No.: _____

**LOCAL AGENCY
MITIGATED NEGATIVE DECLARATION**